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## **AGENDA FOR THE PLANNING SUB COMMITTEE A**

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Members of the Planning Sub Committee A are summoned to a meeting, which will be held in Council Chamber, Town Hall, Upper Street, N1 2UD - Islington Town Hall on **6 September 2021 at 7.30 pm.**

Enquiries to : Zoe Lewis  
Tel : 020 7527 3486  
E-mail : [democracy@islington.gov.uk](mailto:democracy@islington.gov.uk)  
Despatched : 26 August 2021

### **Welcome:**

Members of the public are welcome to attend this meeting.

**Consideration of Planning Applications** – This is a formal agenda where decisions are taken on planning applications submitted to the Council. Public speaking rights on these items are limited to those wishing to comment on specific applications. **If you wish to speak at the meeting please register by calling the Planning Department on 020 7527 2278 or emailing [enquiriesplanning@islington.gov.uk](mailto:enquiriesplanning@islington.gov.uk).**

#### Committee Membership

Councillor Khondoker (Chair)- Highbury West;  
Councillor Woolf (Vice-Chair)- Canonbury;  
Councillor Clarke - St George's;  
Councillor Jackson - Holloway;  
Councillor Klute - St Peter's;

#### Wards

#### Substitute Members

Councillor Chowdhury  
Councillor Convery  
Councillor Hyde  
Councillor Ibrahim  
Councillor Kay  
Councillor Khurana  
Councillor Nathan  
Councillor North  
Councillor Picknell  
Councillor Poyser  
Councillor Wayne  
Councillor Williamson

- Barnsbury;  
- Caledonian;  
- Caledonian;  
- Highbury West;  
- Mildmay;  
- Tollington;  
- Clerkenwell;  
- St Peter's;  
- St Mary's;  
- Hillrise;  
- Canonbury;  
- Tollington;

Quorum: 3 councillors



**A. Formal Matters**

**Page**

1. Introductions
2. Apologies for Absence
3. Declarations of Substitute Members
4. Declarations of Interest

If you have a **Disclosable Pecuniary Interest\*** in an item of business:

- if it is not yet on the council's register, you **must** declare both the existence and details of it at the start of the meeting or when it becomes apparent;
- you may **choose** to declare a Disclosable Pecuniary Interest that is already in the register in the interests of openness and transparency.

In both the above cases, you **must** leave the room without participating in discussion of the item.

If you have a **personal** interest in an item of business **and** you intend to speak or vote on the item you **must** declare both the existence and details of it at the start of the meeting or when it becomes apparent but you **may** participate in the discussion and vote on the item.

**\*(a) Employment, etc** - Any employment, office, trade, profession or vocation carried on for profit or gain.

**(b) Sponsorship** - Any payment or other financial benefit in respect of your expenses in carrying out duties as a member, or of your election; including from a trade union.

**(c) Contracts** - Any current contract for goods, services or works, between you or your partner (or a body in which one of you has a beneficial interest) and the council.

**(d) Land** - Any beneficial interest in land which is within the council's area.

**(e) Licences**- Any licence to occupy land in the council's area for a month or longer.

**(f) Corporate tenancies** - Any tenancy between the council and a body in which you or your partner have a beneficial interest.

**(g) Securities** - Any beneficial interest in securities of a body which has a place of business or land in the council's area, if the total nominal value of the securities exceeds £25,000 or one hundredth of the total issued share capital of that body or of any one class of its issued share capital.

This applies to **all** members present at the meeting.

5. Order of Business
6. Minutes of Previous Meeting

<b>B.</b>	<b>Consideration of Planning Applications</b>	<b>Page</b>
1.	19-20 Great Sutton Street, Islington, London, EC1V 0DR	9 - 50
2.	Martin Luther King Centre, 3 Sheringham Road, London, N7 8PF	51 - 78
3.	West Library, 107 Bridgeman Road, Islington, London, N1 1BD	79 - 100

**C. Consideration of other planning matters**

**D. Urgent non-exempt items (if any)**

Any non-exempt items which the Chair agrees should be considered urgently by reason of special circumstances. The reasons for urgency will be agreed by the Chair and recorded in the minutes.

**E. Exclusion of press and public**

To consider whether, in view of the nature of the remaining item on the agenda, it is likely to involve the disclosure of exempt or confidential information within the terms of the Access to Information Procedure Rules in the Constitution and, if so, whether to exclude the press and public during discussion thereof.

**F. Confidential/exempt items**

**G. Urgent exempt items (if any)**

Any exempt items which the Chair agrees should be considered urgently by reason of special circumstances. The reasons for urgency will be agreed by the Chair and recorded in the minutes.

**Date of Next Meeting:** Planning Sub Committee A, 21 October 2021

**Please note all committee agendas, reports and minutes are available on the council's website: [www.democracy.islington.gov.uk](http://www.democracy.islington.gov.uk)**

**WEBCASTING NOTICE**

This meeting will be filmed by the Council for live and/or subsequent broadcast on the Council's website. The whole of the meeting will be filmed, except where there are confidential or exempt items, and the footage will be on the website for 12 months. A copy of it will also be retained in accordance with the Council's data retention policy.

If you participate in the meeting you will be deemed by the Council to have consented to being filmed. By entering the Council Chamber you are also consenting to being filmed and to the possible use of those images and sound recordings for webcasting and/or training purposes. If you do not wish to have your image captured you should sit in the public gallery area, overlooking the Chamber.

In addition, the Council is obliged by law to allow members of the public to take photographs, film, audio-record, and report on the proceedings at public meetings. The Council will only seek to prevent this should it be undertaken in a disruptive or otherwise inappropriate manner.

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## **PROCEDURES FOR PLANNING SUB-COMMITTEES**

### **Planning Sub-Committee Membership**

Each Planning Sub-Committee consists of five locally elected members of the council who will decide on the applications for planning permission.

### **Order of Agenda**

The Chair of the Planning Sub-Committee has discretion to bring forward items, or vary the order of the agenda, where there is a lot of public interest.

### **Consideration of the Application**

After hearing from council officers about the main issues of the proposal and any information additional to the written report, the Chair will invite those objectors who have registered to speak for up to three minutes on any point relevant to the application. If more than one objector is present for any application then the Chair may request that a spokesperson should speak on behalf of all the objectors. The spokesperson should be selected before the meeting begins. The applicant will then be invited to address the meeting also for three minutes. These arrangements may be varied at the Chair's discretion.

Members of the Planning Sub-Committee will then discuss and vote to decide the application. The drawings forming the application are available for inspection by members during the discussion.

Please note that the Planning Committee will not be in a position to consider any additional material (e.g. further letters, plans, diagrams etc.) presented on that evening. Should you wish to provide any such information, please send this to the case officer a minimum of 24 hours before the meeting. If you submitted an objection but now feel that revisions or clarifications have addressed your earlier concerns, please write to inform us as soon as possible.

### **What Are Relevant Planning Objections?**

The Planning Sub-Committee is required to decide on planning applications in accordance with the policies in the Development Plan unless there are compelling other reasons. The officer's report to the Planning Sub-Committee will refer to the relevant policies and evaluate the application against these policies. Loss of light, openness or privacy, disturbance to neighbouring properties from proposed intrusive uses, over development or the impact of proposed development in terms of size, scale, design or character on other buildings in the area, are relevant grounds for objection. Loss of property value, disturbance during building works and competition with existing uses are not. Loss of view is not a relevant ground for objection, however an unacceptable increase in sense of enclosure is.

**For further information on how the Planning Sub-Committee operates and how to put your views to the Planning Sub-Committee please call Ola Adeoye/Zoe Lewis on 020 7527 3044/3486. If you wish to speak at the meeting please register by calling the Planning Department on 020 7527 2278 or emailing [enquiriesplanning@islington.gov.uk](mailto:enquiriesplanning@islington.gov.uk).**



# Public Document Pack Agenda Item A6

London Borough of Islington

## Planning Sub Committee A - 12 July 2021

Minutes of the meeting of the Planning Sub Committee A held at Council Chamber, Town Hall, Upper Street, N1 2UD - Islington Town Hall on 12 July 2021 at 7.30 pm.

**Present:**      **Councillors:**      Khondoker (Chair), Clarke, Jackson, Klute and Ibrahim (Substitute) (In place of Woolf)

### Councillor Roulin Khondoker in the Chair

**179**      **INTRODUCTIONS (Item A1)**

Councillor Khondoker welcomed everyone to the meeting. Members of the Committee and officers introduced themselves and the Chair outlined the procedures for the meeting.

**180**      **APOLOGIES FOR ABSENCE (Item A2)**

Apologies were received from Councillor Woolf.

**181**      **DECLARATIONS OF SUBSTITUTE MEMBERS (Item A3)**

Councillor Ibrahim substituted for Councillor Woolf.

**182**      **DECLARATIONS OF INTEREST (Item A4)**

There were no declarations of interest.

**183**      **ORDER OF BUSINESS (Item A5)**

The order of business would be as per the agenda.

**184**      **MINUTES OF PREVIOUS MEETING (Item A6)**

**RESOLVED:**

That the minutes of the meeting held on 4 May 2021 be confirmed as an accurate record of proceedings and the Chair be authorised to sign them.

**185**      **EAST-WEST COMMUNITY NURSERY ST LUKE'S OPEN SPACE (Item B1)**

Erection of a new single storey replacement modular building to accommodate Bright Start early childcare services.

(Planning application number: P2021/0613/FUL)

In the discussion the following points were made:

- A member raised concern about the sustainability of the temporary building and asked whether it could have solar panels and/or a green roof. The

planning officer stated that improvements in the design had been negotiated to improve sustainability. The applicant stated that solar panels and green roofs would not be suitable for the temporary building which would only be in place for three years. However they were working with the zero carbon team and would ensure sustainability issues were taken into account on future applications.

- A member asked why the building would be temporary and whether it could be used elsewhere once it was no longer required. The officer advised that once the 36 month permission expired, there was a requirement for the temporary building to be removed. The applicant stated that a temporary building was required as the site could be redeveloped. The applicant stated that they would look to repurpose the temporary building for use elsewhere in Islington at the end of its use by BrightStart or sell it back to the manufacturer.
- Members considered the location and number of proposed windows.

Councillor Khondoker proposed a motion to add a condition requiring options for additional windows to be explored for the temporary building, the wording of which would be delegated to officers. This was seconded by Councillor Klute and carried.

**RESOLVED:**

That following consideration of the case officer's report (the assessment and recommendations therein) and the presentation to Committee, planning permission be granted subject to the conditions and informatives set out in Appendix 1 of the officer report and the additional condition outlined above.

186

**JEAN STOKES COMMUNITY HALL, COATBRIDGE HOUSE, CARNOUSTIE DRIVE, LONDON, N1 0DX (Item B2)**

Change of use of basement from ancillary estate management use to an amalgamated use with the ground floor as a community centre (Use Class F2), together with the erection of single storey ground floor extension to the front with associated external ramp, access, landscaping and ancillary facilities including bike storage, toilets, shower and changing facilities and associated alterations.

(Planning application number: P2021/1456/FUL)

In the discussion the following points were made:

- A member raised concern about the ramp being close to tree trunks and appearing to be within the root protection area. The officer advised that an arboricultural report and section drawing had been submitted and the trees team was satisfied no harm would be caused to the tree roots.
- A member asked whether a Stopping Up Order was required as some of the ramp and bicycle stands appeared to be on the highway. The officer advised that these were on estate land rather than the highway and the highways team was satisfied with the remaining width of the pavement. The applicant confirmed that there was a minimum width of 2 metres between the trees and the road. Members requested that the methodology in the arboricultural report be closely followed to ensure tree roots were not damaged.

- Ventilation in the basement was discussed. The applicant stated that the mechanical ventilation in part of the basement would be refurbished and would meet building control standards. Some of the basement would be naturally ventilated as it was currently and the officer confirmed there was a lightwell next to this part of the basement.
- A member asked about the consultation process. The officer replied that there were two rounds of consultation plus a site notice and press release. 751 letters had been sent and one letter of support and one letter of objection were received. During the consultation, revised letters were sent out as the first letters described the use as F1 when it should have been F2. The applicant stated that consultation sessions had taken place in community centres, virtually during lockdown and engagement had taken place at the Cally Festival.

**RESOLVED:**

That following consideration of the case officer's report (the assessment and recommendations therein), the presentation to Committee and submitted representation, planning permission be granted subject to the conditions and informative set out in Appendix 1 of the officer report.

187

**WEST LIBRARY, 107 BRIDGEMAN ROAD, ISLINGTON, LONDON, N1 1BD**  
**(Item B3)**

Refurbishment of the West Library vacant first floor room (135sqm) into a youth employment and support hub, including lift access, toilets and associated works.

(Planning application number: P2021/1470/LBC)

In the discussion the following points were made:

- In response to a member's question about whether the whole building was listed, the officer confirmed that the entire building was listed in 1994.
- A member asked about energy efficiency improvements and was advised that these would be made. The reading room would be refurbished. Possible energy efficiency measures might include secondary glazing, shutters, underfloor heating and more energy efficient lighting. Condition 5 included a schedule of works for the first floor to be approved.
- A member asked about the proposed materials for the lift. The officer stated that the details of the materials would have to be approved. It was likely that glass and metal would be used as timber and glass could detract from the lobby. The glass should not be a problem with the visually impaired.
- The officer outlined the four options considered for the lift as follows:
  - Option A was the continuation of the platform lift that was there at the moment. Although this would be an ideal access point, the lift would result in a large box on the outside of the library which had remained almost the same as when it was built.
  - Option B was an external lift in the rear yard. Lift users would have to go into the library to use the lift and part of some windows would be lost. In general, external lifts had more maintenance issues.

## Planning Sub Committee A - 12 July 2021

- Option C had the lift located in the reading room. This had been discounted as this would remove a circulation function from the lobby. It was proposed that the top hub room could be used for events as well as meetings and the lift being used could cause disruption to the events.
- Option D was the proposed option being presented to members for consideration. The location of the lift would be in the entrance lobby.
- A member asked whether option D aligned with potential future uses of the first floor and the officer advised that it did and if the lift was in the reading room, the users of the first floor would be disturbed.
- A member stated that to have the building back in full use was welcomed and supporting young people into work was vital.
- In response to a member's question about the status of the lobby, the planning officer advised that the lobby was classified as "of moderate significance" whereas the whole building was classified as "of high significance". The harm to the entrance lobby of installing the lift there would be "less than substantial".
- A member raised concern about the damage and harm which would be caused to the entrance lobby and stated that the disruption caused to events on the first floor would be minimal. He considered that the alternative options required more consideration.
- The planning officer stated that putting the lift in the reading room would be a major change to the plan form with a service and circulation use put in space that should be library space. There was a adult library on one side of the building, a children's library on the other side and the circulation space in the middle of the building.
- The member stated that the majority of users would not use the lift and so there would be a small increase in circulation.
- A member expressed concern about children having to enter the adult library to use the lift and potential embarrassment of lift users when entering an event.
- A member suggested that partitions could be used. The planning officer stated that modern partitions could be used but there was concern about not including those with mobility issues in the main circulation space.
- A member suggested an alternative proposal which involved putting a doorway between the lobby and the reading room and putting the lift in the reading room but with the lift entrance in the lobby.
- A member suggested that a site visit could take place.

Councillor Klute proposed a motion to defer the consideration of the application for more consideration of the options available by the applicant. This was seconded by Councillor Clarke and carried.

### **RESOLVED:**

That the consideration of the application be deferred for the reason outlined above.

**WORDING DELEGATED TO OFFICERS**

**MINUTE 185**

**EAST-WEST COMMUNITY NURSERY ST LUKE'S OPEN SPACE**

**ADDITIONAL CONDITION:** Notwithstanding the details shown on the plans hereby approved, detailed plans of the final fenestration pattern to the front elevation facing Mitchell Street shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site.

The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter into perpetuity.

**REASON:** In the interest of achieving good quality architectural design and reasonable levels of light and outlook to future occupants.

The meeting ended at 9.30 pm

**CHAIR**

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**COMMITTEE AGENDA**

**1 19-20 Great Sutton Street**  
Islington  
London  
EC1V 0DR

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**2 Martin Luther King Centre**  
3 Sheringham Road  
London  
N7 8PF

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**3 West Library**  
107 Bridgeman Road  
Islington  
London  
N1 1BD

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**1 19-20 Great Sutton Street**  
Islington  
London  
EC1V 0DR

**Application Number:** P2020/2129/FUL

**Ward:** Bunhill

**Proposed Development:** Single storey roof extension to allow for additional office accommodation and creation of rear roof terrace. Four storey extension above first floor roof to west elevation to allow for the creation of lift (from ground to roof level). Installation of plant equipment at roof level. External alterations to front and rear elevations including new shopfront. Interior renovation and re-configuration of the existing building including partial loss of existing public house and other associated alterations.

REASON FOR RECONSULTATION: Amended and updated Daylight and Sunlight Report

**Application Type:** Full Planning Application

**Case Officer:** Daniel Jeffries

**Name of Applicant:** c/o Agent

**Recommendation:**

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**2 Martin Luther King Centre**  
3 Sheringham Road  
London  
N7 8PF

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**Application Number:** P2021/1860/FUL

**Ward:** Holloway

**Proposed Development:** Erection of a new single-storey building for use in connection with the adventure playground and other community uses with associated works.

**Application Type:** Full Planning Application

**Case Officer:** Samir Benmbarek

**Name of Applicant:** C/O Agent

**Recommendation:**

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**3 West Library**  
**107 Bridgeman Road**  
**Islington**  
**London**  
**N1 1BD**

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**Application Number:** P2021/1470/LBC

**Ward:** Caledonian

**Proposed Development:** Refurbishment of the West Library vacant first floor room (135sqm) into a youth employment and support hub, including lift access, toilets and associated works. (Full planning application also submitted ref:P2021/1466/FUL).

**Application Type:** Listed Building (Council's Own)

**Case Officer:** Claire Sutton

**Name of Applicant:** Jerry Dillon

**Recommendation:**

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### PLANNING COMMITTEE REPORT

<b>PLANNING SUB-COMMITTEE A</b>		
<b>Date:</b>	6 <sup>th</sup> September 2021	<b>NON-EXEMPT</b>

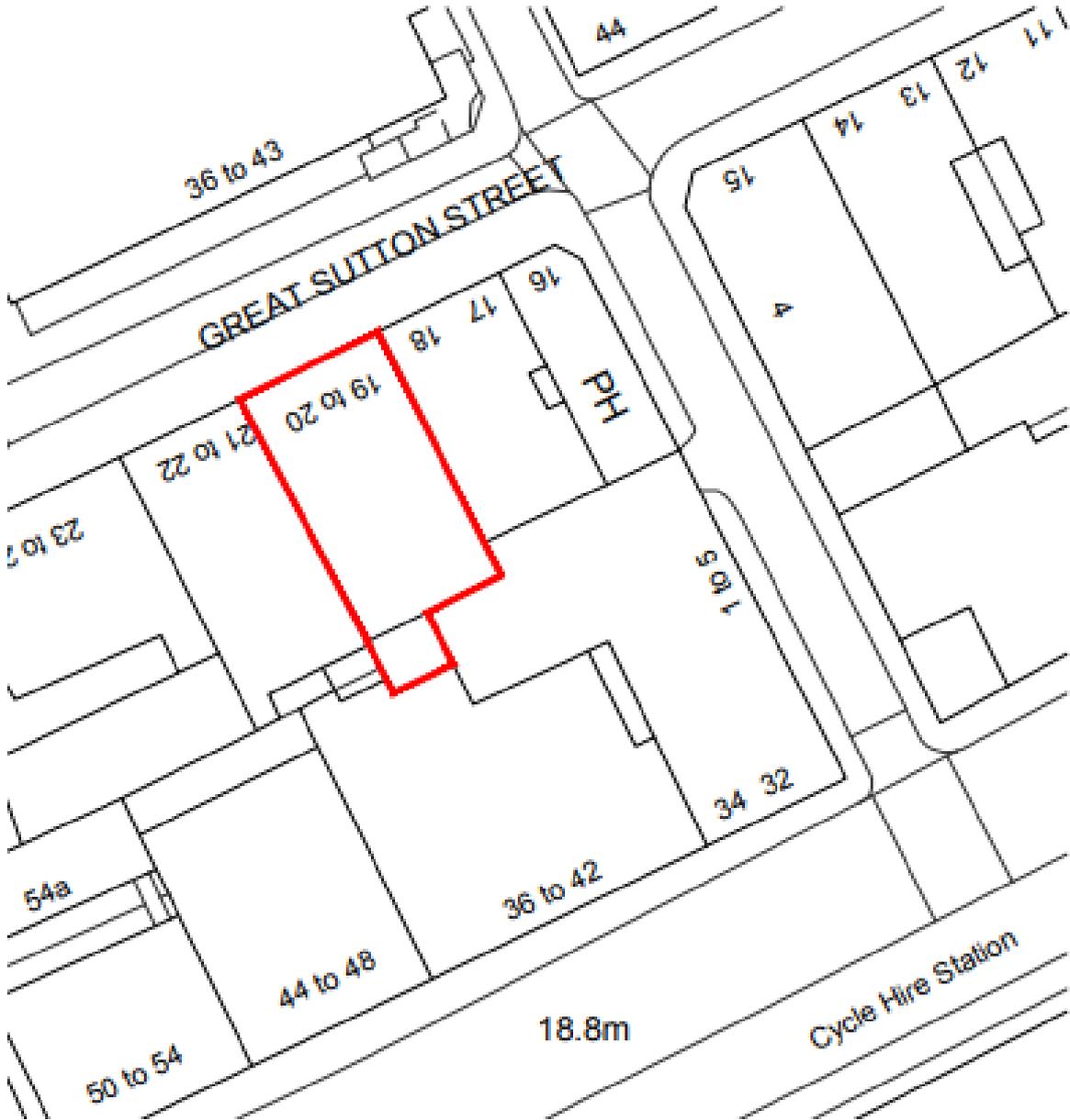
Application number	P2020/2129/FUL
Application type	Full Planning Application
Ward	Bunhill
Listed building	No
Conservation area	Hat and Feathers Conservation Area Within 50m of Charterhouse Square Conservation Area Within 50m of Clerkenwell Green Conservation Area
Development Plan Context	Bunhill & Clerkenwell Core Strategy Key Area Bunhill & Clerkenwell Finsbury Local Plan Area Employment Priority Area (General) Central Activities Zone (CAZ) Mayors Protected Vistas – Alexandra Palace viewing terrace to St Paul’s Cathedral Article 4 (A1-A2 (Rest of Borough) and B1(c) to C3) Heathrow Safeguarding Zone
Licensing Implications	No
Site Address	19-20 Great Sutton Street, Islington London EC1V 0DR
Proposal	Single storey roof extension to allow for additional office accommodation and creation of rear roof terrace. Creation of lift overrun. Installation of plant equipment at roof level. External alterations to front and rear elevations including new shopfront. Interior renovation and re-configuration of the existing building including partial loss of existing public house and other associated alterations.

Case Officer	Daniel Jeffries
Applicant	c/o Agent
Agent	Rolfe Judd Planning

### 1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to the conditions set out in Appendix 1.

SITE PLAN (SITE OUTLINED IN RED)

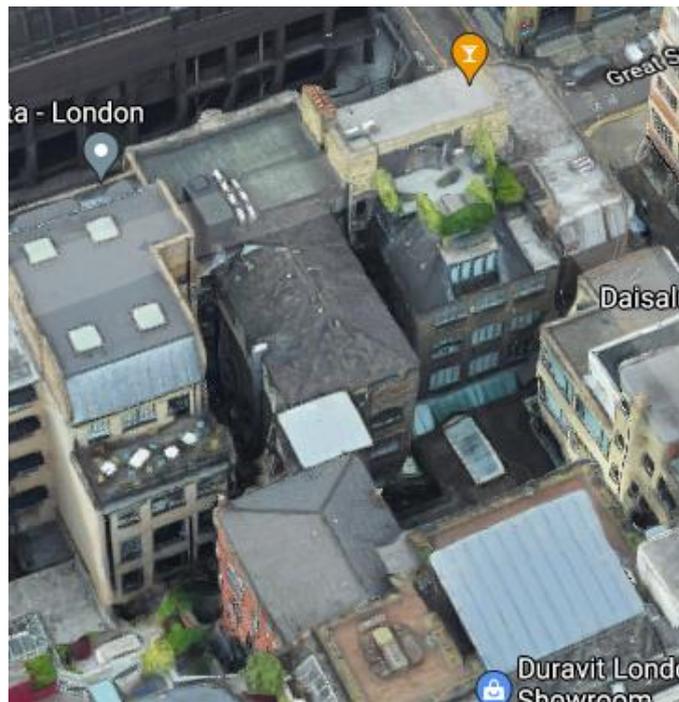


3. PHOTOS OF SITE/STREE



19-20 Great Sutton Street - current

**Image 1:** Aerial photo of site from above



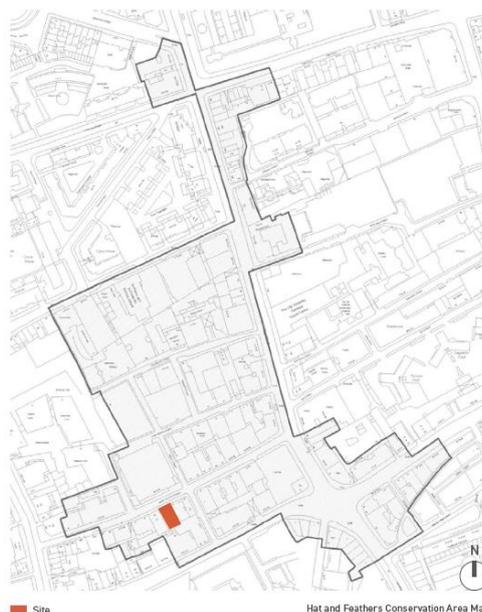
**Image 2:** Aerial photo showing rear elevation facing north

## 4. SUMMARY

- 4.1 The application seeks planning permission for a single storey extension at roof level, which also includes a proposed plant enclosure and lift overrun above. To the rear elevation of the extension at roof level the proposal includes a roof terrace, and to the front elevation the proposal includes changes to the shopfront at ground floor. These proposed shopfront changes which improve the entrance to the office accommodation were approved and benefit from an extant planning permission (Ref. P2020/2445/FUL). This application included internal alterations resulting in the partial loss (11sqm) of the existing public house at ground and basement level, which was considered acceptable.
- 4.2 In design terms the proposed roof extension is considered to preserve the visual appearance and historic character of the host building and wider Hat and Feathers Conservation Area, given its existing context adjacent to existing roof additions, its setback from the principal elevation and that it's largely obscured from the public realm. It would also not detrimentally impact the London Mayor's Protected Views due to its design and height below the viewing corridor. Therefore it is considered that subject to conditions relating to the details of the materials for the roof extension and balustrades the proposal would be acceptable in design terms.
- 4.3 While the proposal includes transgressions in daylight and sunlight against the BRE Guidelines, when considering the level of transgressions, the site context and the layout of adjoining properties, on balance these transitions are considered acceptable, in this case. The proposal is considered to have an acceptable impact on the amenity of neighbouring properties in regard to sense of enclosure, noise, overlooking, and light pollution, with a number of conditions recommended to mitigate any impact. The proposal is considered to be acceptable, on balance, and it is recommended that the application be approved subject to conditions.

## 5. SITE AND SURROUNDINGS

- 5.1 The application is a five storey (plus basement) mid-terrace building located on the southern side of Great Sutton Street. The building contains an existing drinking establishment (Sui Generis) at ground and basement levels, with office (Class E) above. The building is not locally or statutorily listed, however it is located within the Hat and Feathers Conservation Area.
- 5.2 The site is located within the Central Activities Zone and the Bunhill & Clerkenwell Core Strategy Key Area (and Finsbury Plan Area). The surrounding area is predominantly mixed use in character; there are some residential dwellings at the adjoining building at No. 17-18 Great Sutton Street.

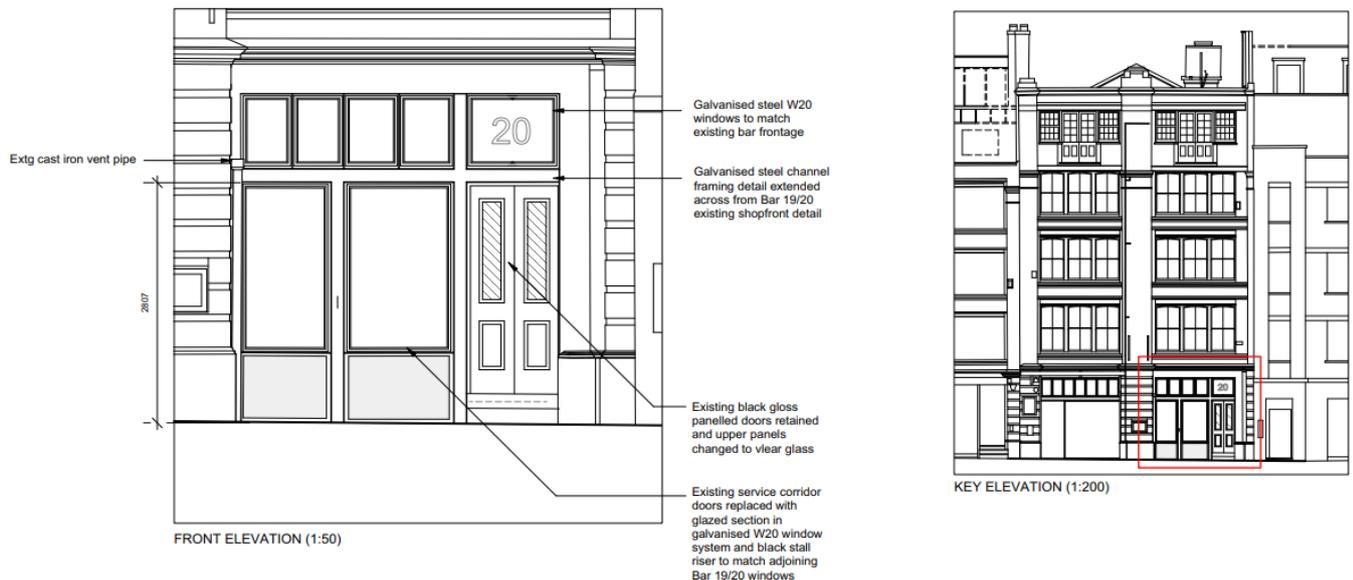


## 6. PROPOSAL (IN DETAIL)

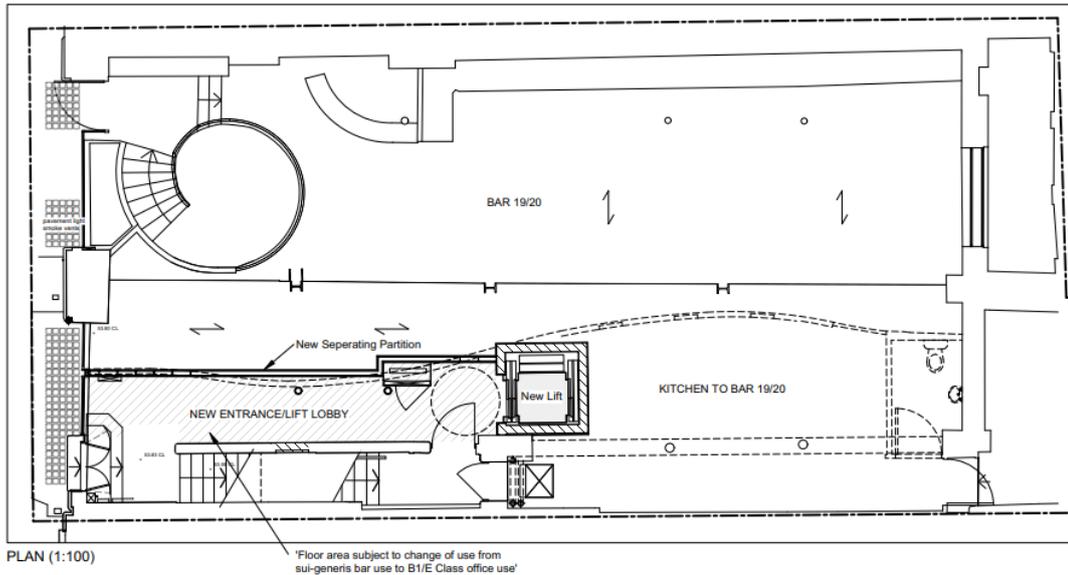
- 6.1 The application seeks planning permission for a single storey roof extension to allow for 182.1 sqm of additional office accommodation (Class E) and creation of rear roof terrace. The proposal includes a lift overrun and the installation of plant equipment at roof level above the extension. The external alterations to the front and rear elevations include a new shopfront, with internal alterations relating to the renovation and re-configuration of the existing building including partial loss of existing public house and other associated alterations.
- 6.2 It should be noted that the proposal has been amended during the course of the application, including the removal of a four storey extension (first floor to roof level), as well as incorporating the internal alterations at ground and basement levels and external changes at ground floor level to the front elevation, which formed part of the recent application (Ref. P2020/2445/FUL) which had the following description:

*Alterations to the front elevation at ground floor. Internal alterations for the change of use of part of the ground floor and basement level to allow for a partial loss of existing public house (sui generis) to office (Class E).*

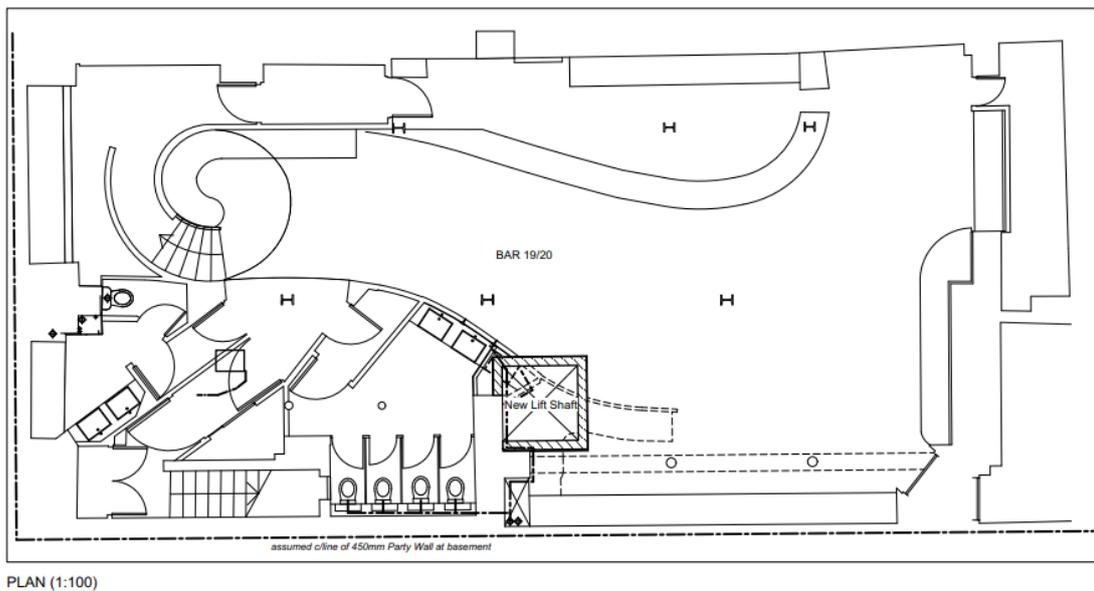
- 6.3 This application was granted planning permission on 24<sup>th</sup> November 2020 and is extant. The approved changes have been integrated into this proposal. The changes to the front elevation relate to no. 20 Great Sutton Street, replacing the existing shopfront. The associated internal alterations at ground and basement level resulted in a partial loss (total of 11 sqm) of the existing public house floorspace across both floors, which is to be used for internal reconfiguration of the entrance lobby and access to provide improved access to the office accommodation on the upper floors. The associated lift shaft is incorporated into this application. The images below (Images 3 to 5) show the changes approved within the extant planning permission (Ref. P2020/2445/FUL).



**Image 3:** Approved proposed front elevation for application Ref. P2020/2445/FUL showing shopfront changes



**Image 4:** Approved proposed ground floor for application Ref. P2020/2445/FUL showing internal changes



**Image 5:** Approved proposed basement floor for application Ref. P2020/2445/FUL showing internal changes

**7. RELEVANT HISTORY:**

19-20 Great Sutton Street

*PLANNING APPLICATIONS*

- 7.1 P2020/2445/FUL: Alterations to the front elevation at ground floor. Internal alterations for the change of use of part of the ground floor and basement level to allow for a partial loss of existing public house (sui generis) to office (Class E). Approved on 24/11/2020.
- 7.2 P2020/0332/FUL: Retrospective permission for the installation of replacement double glazed steel windows at first, second, third and fourth floors at the rear and side elevations. Approved on 14/04/2020

- 7.3 P2019/3225/FUL: Erection of a single storey roof extension with terrace and extended staircase to rear to provide 206sqm of additional B1 office floorspace, erection of a lift shaft extension within western side return, and installation of rooftop plant compound. Renovation of the façade including new ground floor frontage and entrance. Replacement glazed roof to ground floor side return, and associated works. **Application Withdrawn.**
- 7.4 980772: The construction of a roof extension at fifth floor level. Approved with conditions 12/08/1998.
- 7.5 891505: Change of use from mixed office light and general industrial to Business Use (Class B1 Town and Country Planning (Use Classes) Order 1987) (829 sq.m.) Approved with conditions 26/03/1990.

#### PRE-APPLICATION

- 7.6 Q2019/0808/MIN: Erection of a two storey roof extension, change of use of ground and basement levels from public house (A4 use class) to gallery/showroom space (Sui Generis), alterations to ground floor shopfront, side extension at rear and internal alterations to provide new lift, and associated alterations.

#### *Officers response:*

- *The existing use of the ground and basement level is as a Public House, and therefore vacancy cannot be demonstrated. Overall, insufficient evidence and justification for the loss of the A4 unit has been provided, the loss of the A4 unit is contrary to policy DM4.10B of the Development Management Policies, and would therefore be resisted.*
- *Overall, the proposed office floorspace would maximise the B1 use of the site and generally conforms with the broad aims of the Development Plan policies, and is acceptable in principle.*
- *The proposed second floor of the roof extension with associated terraces would be visible in public sightlines, and would dominate the host building – it is wholly unacceptable and would cause significant harm to the building, streetscene and the wider conservation area.*
- *A single storey mansard extension at this location should match the building line, height and pitch of that at the neighbouring property at no. 21-22 Great Sutton Street. It should be traditional in design and constructed in either zinc or lead.*
- *The proposed contemporary glazed replacement shopfront is wholly unacceptable. Any new shopfront/access at this level should be traditional in design. It should be constructed of timber. The brick pier in the middle of the frontage must be retained, and the shopfront must comply with the requirements of the Urban Design Guide 2017, the Conservation Area Design Guidelines and the Shopfront Design Guide 2003. This should include features such as stallrisers, fanlights, transoms/mullions, corbels and plinths etc (where appropriate). Any replacement shopfront must retain the deep recession of the existing shopfront, which is an important characteristic of the building.*
- *It is recommended that the inclusion of a daylight/sunlight assessment would ascertain the impacts of the proposed roof extension on neighbouring occupiers in terms of access to natural light.*

#### ENFORCEMENT

- 7.7 E/2019/033: New clear windows installed to rear. Case Closed on 08/06/2020.

## **CONSULTATION**

### **Public Consultation**

- 7.8 Letters were sent to occupants of 110 no. adjoining and nearby properties at Clerkenwell Road, Great Sutton Street, Berry Street on 2<sup>nd</sup> September 2020, and site and press adverts were displayed. Additional consultation letters were sent on 15<sup>th</sup> April 2021 for and updated Daylight/Sunlight Report and amended drawings. The consultation period ended on 29<sup>th</sup> April 2021.
- 7.9 At the time of the writing of this report a total of 7 no. responses had been received from the public with regard to the application, raising objections to the proposal. The issues raised in the objections can be summarised as follows (with the paragraph that provides responses to each issue indicated within brackets):

#### ***Design and Conservation***

- Visual appearance and impact on conservation area  
(See Paragraphs 9.31 to 9.67)

#### ***Neighbouring Amenity***

- Loss of daylight/sunlight to neighbouring properties (including amenity spaces)
- Noise and disruption to surrounding properties during construction period
- Overlooking and loss of privacy to neighbouring properties  
(See Paragraphs 9.68 to 9.114)

#### ***Other Matters***

- Impact on value of properties
- Density of development  
(See Paragraphs 9.128 and 9.129)

### **Internal Consultees**

- 7.10 **Design and Conservation Officer:** No objections.
- 7.11 **Environmental Health Pollution Officer:** No objections subject to conditions.
- 7.12 **Building Control Officer:** raised concerns regarding compliance with Building Regulations.
- 7.13 **Inclusive Design Officer:** raised concerns regarding provision of accessible accommodation.

## **8. RELEVANT STATUTORY DUTIES & DEVELOPMENT PLAN CONSIDERATIONS AND POLICIES**

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents

### **National Guidance**

- 8.1 Islington Council (Planning Sub-Committee A), in determining the planning application has the main following statutory duties to perform:
- To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990)
  - To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington's Local Plan, including adopted Supplementary Planning Guidance)

- 8.2 National Planning Policy Framework 2021 (NPPF): Paragraph 10 states: “at the heart of the NPPF is a presumption in favour of sustainable development.
- 8.3 The National Planning Policy Framework 2021 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.
- 8.4 Since March 2014 Planning Practice Guidance for England has been published online
- 8.5 In considering the planning application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.
- 8.6 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:
- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.
  - Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.
- 8.7 Members of the Planning Sub-Committee A must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.
- 8.8 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to: (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act; (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

### **Development Plan**

- 8.9 The Development Plan is comprised of the London Plan 2021, Islington Core Strategy 2011 and the Islington Development Management Policies 2013. The policies of the Development Plan that are considered relevant to this application are listed at Appendix 2 to this report.

### **Designations**

- 8.10 The site has the following designations under the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:
- Hat and Feathers Conservation Area
  - Within 50m of Charterhouse Square Conservation Area
  - Within 50m of Clerkenwell Green Conservation Area
  - Bunhill & Clerkenwell Core Strategy Key Area

- Bunhill & Clerkenwell Finsbury Local Plan Area
- Employment Priority Area (General)
- Central Activities Zone (CAZ)
- Mayors Protected Vistas – Alexandra Palace viewing terrace to St Paul’s Cathedral
- Article 4 (A1-A2 (Rest of Borough) and B1(c) to C3)
- Heathrow Safeguarding Zone

**Supplementary Planning Guidance (SPG) / Document (SPD)**

8.11 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

**Emerging Policies**

**Draft Islington Local Plan 2019**

8.12 The Regulation 19 draft of the Local Plan was approved at Full Council on 27 June 2019 for consultation and subsequent submission to the Secretary of State for Independent Examination. From 5 September 2019 to 18 October 2019, the Council consulted on the Regulation 19 draft of the new Local Plan. Submission took place on 12 February 2020 with the examination process now in progress. As part of the examination consultation on pre-hearing modifications took place between is taking place from 19 March to and 9 May 2021. The Matters and Issues have now been published with hearings set to take place from 13 September to 5 October.

8.13 In line with the NPPF, Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

8.14 Emerging policies that are relevant to this application are set out below in **Appendix 2**.

**9. ASSESSMENT**

9.1 The main issues arising from this proposal relate to:

- Land Use
- Design
- Neighbouring Amenity
- Accessibility and Fire Safety
- Sustainability
- Highways
- Other matters

**Land Use**

9.2 The proposal seeks planning permission for internal alterations to the existing public house at basement and ground floor and extensions to the upper floors to allow for the enlargement of the existing office accommodation.

9.3 As noted in the proposal section above, the host building benefits from an extant planning permission (Ref. P2020/2445/FUL) which included the partial loss of floorspace of the existing public house (11sqm) at basement and ground floor levels, which is to be used for internal reconfiguration of the entrance lobby and access to the upper floors with a lift shaft.

- 9.4 The assessment of this change of use considered the requirements of Policy DM4.10A of Development Management Policies (2013). This policy seeks to ensure developments support the retention of Public Houses, and opposes their redevelopment, demolition and Change of Use.
- 9.5 Part B of this policy requires applications for the change of use, redevelopment and/or demolition of a Public House must demonstrate that:
- i. the Public House has been vacant for a continuous period of 2 years or more and continuous marketing evidence has been provided for the vacant 2 year period to demonstrate there is no realistic prospect of the unit being used as a Public House in the foreseeable future;*
  - ii. the proposed alternative use will not detrimentally affect the vitality of the area and the character of the street scene;*
  - iii. the proposal does not constitute the loss of a service of particular value to the local community; and*
  - iv. significant features of historic or character value are retained.*
- 9.6 Paragraph 12 of the Council's delegated report concluded that *'the proposed loss of the public house floorspace is limited to a small portion of the ground floor which is currently used as a kitchen service area, and a small portion of the basement floor which are currently used as a corner of the wc and a seating area, this loss is not considered to have a detrimental impact in terms of its function or use. The loss is this 11sqm of pub floorspace is therefore considered acceptable. It is acknowledged that no marketing evidence has been provided as required by Part B of this policy, however, given the public house would be retained the partial small loss of the floorspace, the requirement for marketing evidence is not applicable in this instance'*.
- 9.7 Given that the layout of the ground and basement floor levels are identical to those previously approved and that remain extant, it is considered that the same conclusion that the partial loss of the public house floorspace is acceptable.
- 9.8 In terms of the increase in office floorspace, given the site is located within the Finsbury Local Plan Area and within an Employment Priority Area (General), Policy BC8 is applicable.
- 9.9 Part B of this policy recommends that the employment floorspace component of a development or change of use proposal should not be unfettered commercial office (B1(a)) uses, but, where appropriate, must also include retail or leisure uses at ground floor, alongside:
- i. A proportion of non-B1(a) business or business-related floorspace (e.g. light industrial workshops, galleries and exhibition space), and/or*
  - ii. Office (B1(a)) or retail (A1) floorspace that may be suitable for accommodation by micro and small enterprises by virtue of its design, size or management, and/or*
  - iii. Affordable workspace, to be managed for the benefit of occupants whose needs are*
- 9.10 Part I of this policy is also relevant which confirms that *new business floorspace must be designed to allow for future flexibility for a range of uses, including future subdivision and/or amalgamation for a range of business accommodation; and should provide full separation of business and residential floorspace where forming part of a mixed use residential development.*
- 9.11 Whilst these policies are more relevant to new build and major developments, as noted above the host building has an existing public house across both ground and basement floor levels.
- 9.12 The proposed enlargement of the existing office accommodation is considered to increase the possibilities that the building could be more adaptable for future flexibility for a range of uses, including subdivision and/or amalgamation.

## Class E Uses

- 9.13 Notwithstanding the above, the Town and Country Planning (Use Classes) Order 1987 was updated on 1 September 2020 to introduce a new use Class E. Use Class E broadly covers uses previously defined in the revoked classes A1/2/3, B1, D1(a-b) and 'indoor sport' from D2(3) and amalgamates these into a single use class that includes

*E(a) Display or retail sale of goods, other than hot food*

*E(b) Sale of food and drink for consumption (mostly) on the premises*

*E(c) Provision of:*

- i. Financial services,*
- ii. Professional services (other than health or medical services), or*
- iii. Other appropriate services in a commercial, business or service locality*

*E(d) Indoor sport, recreation or fitness (not involving motorised vehicles or firearms)*

*E(e) Provision of medical or health services (except the use of premises attached to the residence of the consultant or practitioner)*

*E(f) Creche, day nursery or day centre (not including a residential use)*

*E(g) Uses which can be carried out in a residential area without detriment to its amenity:*

- i. Offices to carry out any operational or administrative functions,*
- ii. Research and development of products or processes*
- iii. Industrial processes*

- 9.14 While office floorspace now falls within Class E, not all of the uses encompassed within Use Class E would be appropriate at this site or can be adequately assessed on the basis of the limited information submitted. Specifically:

### *Retail*

- 9.15 Policy DM4.4 of the Development Management Policies states that applications for more than 80m<sup>2</sup> of floorspace for uses within the A Use Classes, D2 Use Class and for Sui Generis main Town Centre uses (all subsumed by the new Use Class E) should be located within designated town centres. Where suitable locations within town centres are not available, local shopping areas or edge-of-centre sites should be chosen. Where this is not possible, out-of-centre sites may be acceptable where alternative sites within these centres have been thoroughly investigated, the development would not have a detrimental impact on the vitality and viability of these centres, and the development would be accessible by all sustainable means of transport.

- 9.16 The proposal includes a total of 118sqm additional floorspace. The site is not located within a designated town centre, which is considered to be an unsuitable location for retail uses. Therefore, it is considered appropriate to restrict the additional floorspace from a retail use.

### *Food and drink*

- 9.17 Policy DM4.2 states that entertainment and night time activities are generally inappropriate outside Town Centres and where proposed outside Town Centres applicants will need to demonstrate that such uses will not result in adverse impacts, including cumulative impacts as assessed in relation to Policy DM4.3. Policy DM4.3 states that proposals for cafes and restaurants will be resisted where they would result in negative cumulative impacts; would cause unacceptable disturbance or detrimentally affect the amenity, character and function of an area.

- 9.18 As noted above, the site is not within a town centre, therefore whilst the first to third floor would benefit from Class E use, a condition has been recommended to restrict the use, unless further information is provided.

### *Financial, professional and other services*

- 9.19 This can include banks, building societies and estate agents. The site is not within a town centre and is in a residential area. It is also considered inappropriate for such a large unit to be used for a betting shop use, particularly in this residential location and this use would not have separate access.

### *Indoor sport, recreation or fitness*

- 9.20 Policy DM4.4 of the Development Management Policies states that applications for more than 80m<sup>2</sup> of floorspace for uses within the A Use Classes, D2 Use Class and for Sui Generis main Town Centre uses (all subsumed by the new Use Class E) should be located within designated town centres. Where suitable locations within town centres are not available, local shopping areas or edge-of-centre sites should be chosen. Where this is not possible, out-of-centre sites may be acceptable where alternative sites within these centres have been thoroughly investigated, the development would not have a detrimental impact on the vitality and viability of these centres, and the development would be accessible by all sustainable means of transport.

- 9.21 The site is not located within a designated town centre, and the applicant has failed to provide adequate justification for sport/recreation or fitness use in this location (previously a D2 use as referred to in the policies). Therefore, it is not considered appropriate for a sport/recreation or fitness use to be permitted in this location.

- 9.22 Sport/recreation or fitness uses have potential noise and disturbance issues associated with the frequency of visits to such uses, the amount of patrons, the trading hours, the nature of use with potential noisy equipment and/or events, and the potential for future mechanical ventilation. Without the submission of appropriate documentation to submit and assess these potential noise issues the Local Planning Authority is not able to fully assess the potential impact upon neighbour amenity.

### *Medical or health services*

- 9.23 Part C of policy DM4.12 states that new social infrastructure and cultural facilities must be located in areas convenient for the communities they serve and accessible by a range of sustainable transport modes; provide buildings that are includes, accessible and flexible; be sited to maximise shared use of the facilities; and complement existing uses and the character of the area and avoid adverse impacts on the amenity of surrounding uses. The glossary confirms that community and social facilities include health facilities and early years providers.

- 9.24 Medical or health facilities have potential noise and disturbance issues associated with the frequency of visits to such uses, the amount of patrons, the trading hours, the nature of use with potential noisy equipment and/or events, and the potential for future mechanical ventilation.

- 9.25 Without the submission of appropriate documentation to submit and assess these potential noise issues the Local Planning Authority is not able to fully assess the potential impact upon neighbour amenity.

### *Creche, day nursery or day centre*

- 9.26 Part C of Policy DM4.12 states that new social infrastructure and cultural facilities must be located in areas convenient for the communities they serve and accessible by a range of sustainable transport modes; provide buildings that are includes, accessible and flexible; be sited to maximise shared use of the facilities; and complement existing uses and the character of the area and avoid adverse impacts on the amenity of surrounding uses. The glossary confirms that community and social facilities include health facilities and early years providers.

- 9.27 Crèche, nursery or day centre facilities have potential noise and disturbance issues associated with the frequency of visits to such uses, the amount of patrons, the trading hours, the nature of use with potential noisy equipment and/or events, and the potential for future mechanical ventilation. Without the submission of appropriate documentation to submit and assess these

potential noise issues the Local Planning Authority is not able to fully assess the potential impact upon neighbour amenity.

### *Employment*

- 9.28 Policy CS13 of the Core Strategy states that new employment floorspace should be located in the CAZ and town centres; should be flexible to meet future business needs and should provide a range of unit types and sizes. As noted above, given the sites designation in the Bunhill and Clerkenwell Finsbury Local Plan Area, as well the CAZ, and is currently occupied as an office, and the compliance with Policy BC8 of the Finsbury Local Plan the use of the additional floorspace as office accommodation is acceptable.
- 9.29 It is considered that the nature of 'offices', 'research and development' and 'industrial processes' within Class E should be acceptable on this site, as by definition these uses have to be able to be 'carried out in a residential area without detriment to its amenity'. There are however, potential noise and disturbance issues associated with servicing and access for vehicles, potential noisy equipment, and the potential for future mechanical ventilation for any 'research and development' and 'industrial processes' and therefore only offices are considered appropriate.
- 9.30 Overall, it is considered that sufficient information has been provided on the suitability of a general Class E use in this location. A number of the uses within Class E at this location are contrary to the policies detailed above. A condition is therefore recommended for the premises to be used as an office, class E(g)(i), only.

### **Design and Conservation**

- 9.31 The application site is a warehouse-style building located on the southern side of Great Sutton Street and within the Hat and Feathers Conservation Area, and within close proximity to the boundary of the Clerkenwell Green and Charterhouse Square conservation areas. The Clerkenwell and Smithfield area has the longest history of any part of the borough. It has a special character and appearance which stems from its mix of uses, its architecture and its history, which justifies its conservation area status. The fabric of the area derives from incremental development from Normal times to the present day, with surviving examples of buildings from nine different centuries. The character of the area also depends on its great variety of uses including specialist manufacturing, workshops, wholesaling and retailing activities. The juxtaposition of different uses, cheek by jowl, sets Clerkenwell and Smithfield apart from the homogenous business and residential areas.
- 9.32 Given the site is within the Hat and Feathers Conservation Area, as well as being within close proximity of two other conservation areas, in accordance with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, in assessing the proposals hereby under consideration, special attention is required to be paid to the desirability of preserving or enhancing the character and appearance of the heritage assets.
- 9.33 The design advice found within the Islington Urban Design Guide 2017 and Hat and Feathers Conservation Area Design Guidelines (which also covers the Clerkenwell Green and Charterhouse Square Conservation Areas) should be taken into consideration of the design assessment of the proposal.
- 9.34 The proposal includes external alterations to front and rear elevations, and at roof level including the introduction of a rear roof terrace.

### *Front elevation shopfront changes*

- 9.35 Part C of Policy DM4.8 seeks to ensure proposals for new shopfronts and alterations to existing shopfronts to demonstrate a high quality of design, which complements the original design, proportions, materials and detailing of the shopfront, surrounding street scene and the building of which it forms a part.
- 9.36 Paragraphs 5.194 to 5.217 of the UDG provides advice in relation to shopfront design. It advises that new shopfronts to historic buildings should follow the principles of traditional shopfront design. They should be well proportioned and comprise of pilasters corbel brackets, cornice, fascia, clerestory, a shop window divided with mullions and a stallriser.
- 9.37 The Conservation Area Design Guidelines paragraph 1.17 advises that permission will not normally be given for the removal of existing shopfronts on the properties listed in Schedule 1.3. However, the shopfronts associated with host properties are not within Schedule 1.3.
- 9.38 The advice within paragraphs 1.18 and 1.19 of the CADG are relevant which advises that a large number of old shopfronts exist in the area which contribute to its historic and architectural character and appearance. The Council will seek to retain these shopfronts even if the use of the building changes. Also that the Council considers that the design of many other shopfronts in the area could be improved. Changes in shopfronts will be expected to conform to the Council's 'Shopfront Design Guide'.
- 9.39 The existing shopfront has been altered but retains some historic features including the transoms. As noted in the 'Proposal' section the original proposal was altered during the course of the assessment of the application with the shopfront at no. 19 now being retained as existing, and the shopfront at no. 20 being altered to retain the historic features and largely retain the same openings.
- 9.40 The changes to the shopfront are considered to conform to the Council's design advice, retaining the transom, reintroducing the stallrisers, which are characteristic of historic shopfronts. The proposal would retain a timber door, providing access to the office accommodation albeit introducing some glazing to the upper half of the door. However, this is considered to conform to the design advice and the wider streetscene.
- 9.41 Overall, these design changes are considered to comply with the Council's design advice and preserve the visual appearance and historic character of the host building and wider Hat and Feathers Conservation Area and is acceptable in design terms
- 9.42 Notwithstanding the above, and as noted in the 'Proposal' section, the host building benefits from extant planning permission for these changes within the approved application (Ref. P2020/2445/FUL) which included internal changes at ground and basement level.

### *Roof extension*

- 9.43 Paragraphs 5.84 to 5.88 of the UDG provides advice in relation to rooflines, advising that *in addition to responding to distinctive local building forms and patterns of development, new buildings must also respect the height of the surrounding context.* It also advises that *there is usually more scope for change in the roofline and facades within streets where there are a variety of frontages and building heights* which is the situation in this instance.
- 9.44 Paragraph 5.86 of the UDG advises that where *there is a variation in building heights an alteration to the existing roofline is likely to be unacceptable where:*
- *It adversely impacts on views and landmarks.*
  - *It impacts adversely on the topography of the street.*
  - *It causes a canyon effect and/or unduly overshadows the street.*
  - *It impacts adversely on the character of an open space or the public realm.*

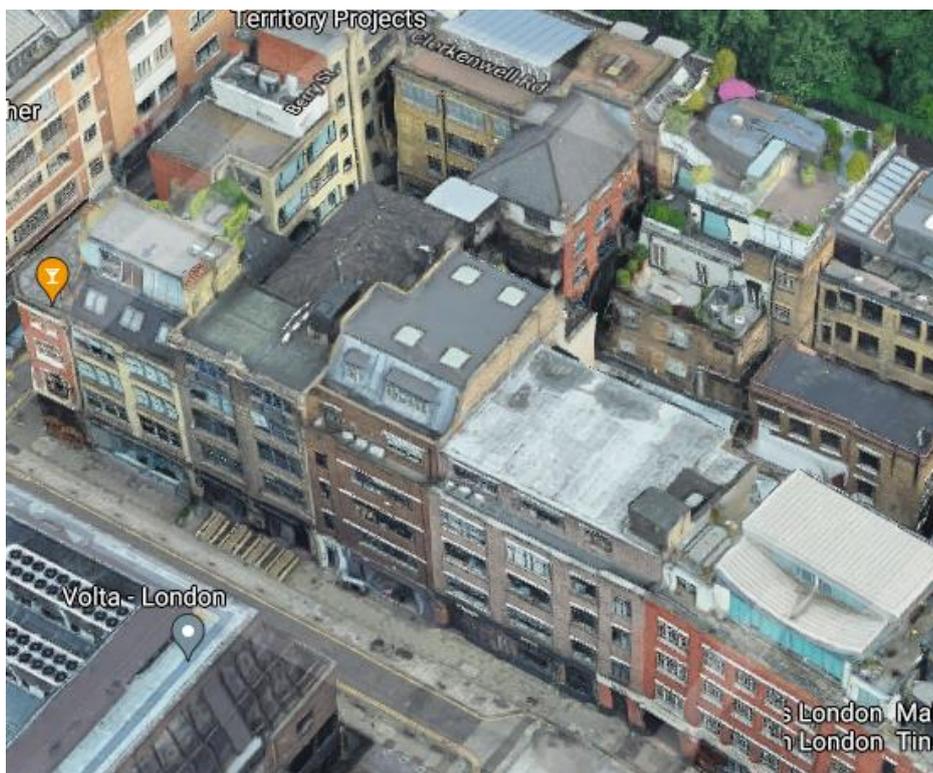
- *The existing street frontages and roof profile have historical and/or architectural importance and/or contribute to an area's individual character. This will include listed buildings, conservation areas and sometimes other buildings that do not have this status.*
- *The alteration to a façade or roofline impacts adversely upon the architectural integrity and quality of the existing or neighbouring buildings.*
- *A change to the roofline or façade would be out of scale with its neighbours and undermines the rhythm of the street frontage.*
- *It creates an imbalance in height between opposite sides of the street. This may not be relevant where there is scope for the redevelopment of the opposite side too, or on wide streets.*
- *Large blank flank walls would be created at the junction between buildings.*

9.45 The Hat and Feathers Conservation Area Design Guidelines provides general advice within paragraphs 1.20, 1.22, 1.24 and 1.27 provide general advice in relation to new development and extensions to existing buildings, including at roof level. These paragraphs advise that:

- *New buildings and roof extensions to existing buildings should conform to the height of existing development in the immediate area,*
- *Roof extensions visible from the street or a public open space will not be granted where this is harmful to the character and appearance of the building,*
- *New development should conform to the scale of existing buildings in the area, and*
- *New development should respect the long established building lines and street frontages.*

9.46 The Conservation Area Design Guidelines also recommends (para. 1.21) that *most buildings in the area are between three and five storeys high. There are very few buildings over five storeys and most of these detract from the appearance of the area. Normally no new building or extension will be permitted above five storeys (about 18 metres above ground level).*

9.47 The host building is five storeys in height, with the additional roof extension resulting in a six storey building. Whilst it is acknowledged that the Conservation Area Design Guidelines states that most building are between three and five storeys in height, the site is located between two properties which are six storeys in height, with setback roof additions. In this context the principle of an additional storey of accommodation is acceptable.



**Image 6:** Aerial photograph showing existing roofline along Great Sutton Street

9.48 In terms of the design of the roof extension, whilst the advice is more appropriate for roof extensions to residential properties, paragraphs 5.154 to 5.156 of the UDG provides advice in relation to main types of acceptable forms of roof extensions. It advises that *there are two main types: flat mansard incorporating steep front and back and almost flat top (usually not acceptable in conservation areas); and traditional mansard incorporating a steep angled front and rear and shallow angled roof up to the ridge-line.* In this instance, the proposal broadly follows the traditional mansard design, incorporating a steep angle to the front slope, and front and rear shallow angled roof to the ridge line.



**Image 7:** Proposed CGI drawings showing proposed roof extension

- 9.49 In addition, the proposal includes two dormer windows to the front elevation of the roof extension. Paragraphs 5.159 to 5.161 of the UDG provides advice in relation to dormer windows advising that *the position of dormers should take into account the composition of the windows immediately below them on the elevation. They should generally line up with and be no wider overall the windows immediately them on the elevation. As a result, the window within the dormer will be narrower than the windows on the main building.*



**Image 8:** Proposed front elevation drawing

- 9.50 As shown in the proposed visuals and the front elevation plans, the proposed roof level addition would be similar in height to the two adjacent properties, with the front elevation benefitting from a set back from the principal elevation of the floors below. The design of the proposed dormers, whilst larger than those found on the adjacent property (no. 21 Great Sutton Street) are considered to be broadly in compliance with the design guidance in the UDG, reflecting the scale of the openings immediately below.
- 9.51 It is acknowledged that the proposed roof extension may be visible from the public realm, particularly from longer views from surrounding streets. However, given this set back and the existing roof level additions at the two adjacent properties, any views would be restricted. Given that this is likely that only views of the side and front elevations of the proposed dormers, which are considered to conform to the design guidance it is considered that these views would not result in harm to the visual appearance and historic character of the host building or the heritage assets.
- 9.52 In terms of the fenestration on the side and rear elevations of the extension, it is acknowledged that they would not match those on the lower floors. However, it is considered that given the windows and doors would align with those on the floors below, and show a clear differential between the existing part of the host building and proposed extension it is considered acceptable in this case.

## Roof terrace

9.53 The rear elevation of the extension would result in the creation of a roof terrace. Paragraphs 5.171 to 5.173 of the UDG provide advice in relation to roof terraces and balconies. These paragraphs advise that when considering the introduction of a roof terrace or balcony, the main considerations should be:

- *The scale and visual prominence.*
- *The impact on the established townscape and architectural style.*
- *The impact on neighbouring properties (overlooking and visual amenity).*



**Image 9:** Proposed CGI image of rear of roof extension including roof terrace

9.54 Whilst the proposed roof terrace would not be visible from street level or the wider public realm, it would be visible from the private realm, from the neighbouring commercial and residential properties found in the surrounding area. Therefore it is important that the proposal is in keeping with the visual appearance and historic character of the host building and wider area.

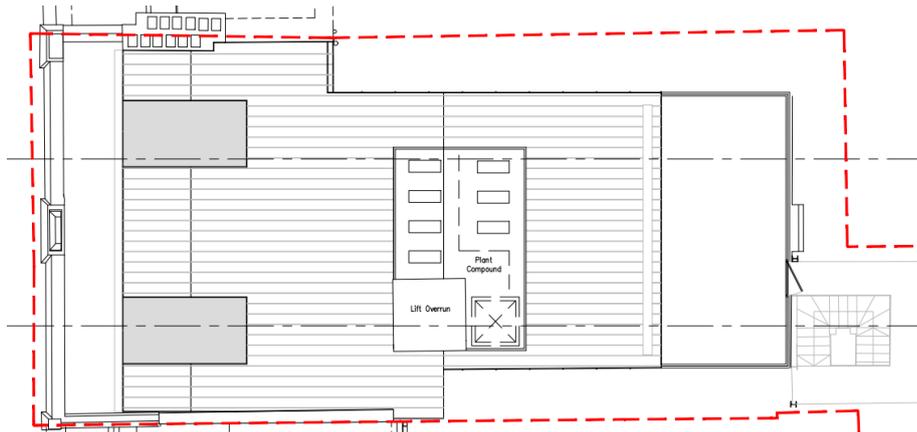
9.55 In terms of the design related main considerations (found within paragraphs 5.171 to 5.173 of the UDG) identified above, the proposed terrace would be restricted to the width of the existing rear addition of the building (7.5m), and its depth being the remaining part of the roof not covered by the extension (3.5m). This area would also be further restricted by the position of the balustrades, which would be set away from side and rear elevations. Whilst the design of the proposed balustrades can be controlled by way of condition, given the proposed roof terrace would be located to the rear of the proposed extension and the host building, and not visible from the public realm and restricted in size it is considered to be in keeping with the visual appearance of the host building, and established townscape.

9.56 Although the Council's records do not indicate that planning permission has been granted, aerial photos indicate that the adjacent property (no. 21) which has a flat roof at a lower level which appears to be used as a roof terrace.

9.57 Therefore, whilst the acceptability of the proposed roof terrace, in terms of its amenity impact is assessed later in the report, in design terms this element of the proposal is considered to preserve the visual appearance and historic character of the host building and wider conservation area.

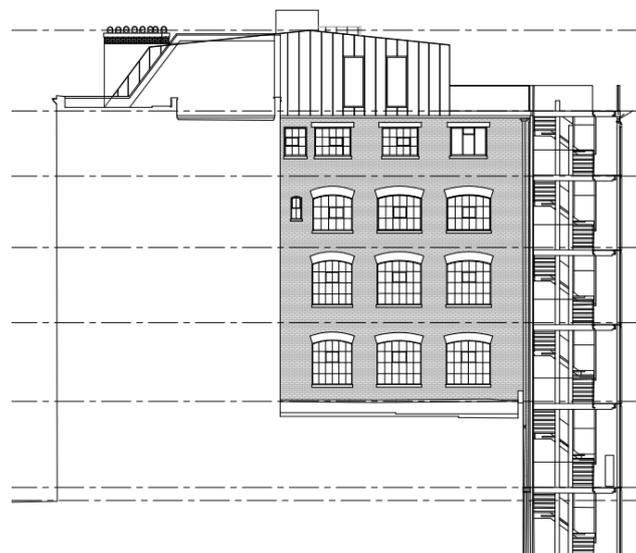
*Roof level structures including lift overrun and plant enclosure*

- 9.58 Although forming part of the proposed roof extension, the proposal includes the creation of a lift. The internal alterations associated with the lift access at ground and basement level were approved with the extant planning permission (within application Ref. P2020/2445/FUL) which has discussed previously in this report.
- 9.59 The lift was originally proposed to form a four storey rear extension which would have projected beyond the existing rear and side elevations, the lift is now proposed to be contained within the existing footprint of the rear outrigger, apart from extending beyond the proposed roof extension, in the form of a lift overrun. In addition, the proposal includes a plant enclosure at roof level, which would be positioned adjacent to the lift overrun.



**Image 10:** Proposed roof plan

- 9.60 Paragraphs 5.182 to 5.185 of the UDG provide advice in relation to building services and equipment and advises that *any plant or machinery associated with the operation of a commercial flue should be located within the building if possible. If it is necessary to install plant on the outside of the building, it should be located at a low level (preferably within a courtyard or rear garden area) and either obscured from view by existing structures such as parapet walls or housed within a suitably designed enclosure.*
- 9.61 The Conservation Area Design Guidelines (para 1.21) which also includes advice regarding roof extensions advises that *all plant rooms and lift overruns should be located so as to be invisible from the street including long views from adjacent streets.*



**Image 11:** Proposed west elevation

- 9.62 The proposed CGI drawings (Images 7 and 9), as well as the proposed roof plan (Image 9) and the west (Image 11) and front (Image 8) elevation drawings show the position of the proposed lift overrun and plant enclosure. These elements would be located to the central part of the roof of the proposed extension. As noted in the Conservation Area Design Guidelines, the Clerkenwell Area is characterised as tightly knit network of streets and lanes, which means that these roof level additions, located above the proposed extension, are not considered to be visible from the public realm including the wider streetscene, particularly given the setback from the principal elevation, relatively small size of this area and minimal projection beyond the roof extension.
- 9.63 Whilst it is acknowledged that it would be visible from private views, it is considered to be in keeping with the host building and wider area, given its relatively minimal projection beyond the roof extension.
- 9.64 Notwithstanding, the above assessment of the roof extension and associated lift overrun and plant enclosures on the host building and wider conservation areas, the site is within one of the Mayors Protected Vistas, specifically the Alexandra Palace viewing terrace to St Paul's Cathedral. Policy DM2.4A seeks to ensure that the Mayor of London's strategic views are protected and enhanced. In this instance, the proposal is considered to protect this view given that the two adjacent properties are similar in height to the proposed roof extension and that it would sit below the height of the viewing corridor.

### *Materials*

- 9.65 In terms of the proposed materials, the Conservation Area Design Guidelines (in paragraphs 1.32 and 1.33) recommends the *use of vernacular materials, such as brick, render, stone, timber windows, slate and tile roofing*. However, it advises that *it is important that new buildings and refurbishment of existing buildings blend in with and reinforce this character. Large areas of glass, curtain walling or metallic finishes, alien to the character of the area, should be avoided. Alterations and extensions to existing buildings should respect the building's materials, architectural style and proportions*.
- 9.66 The submitted Design and Access Statement confirms the use of dark zinc metal (to the roof of the extension), light zinc (to the dormer window surrounds) and aluminium (for the windows and doors frames) in a colour to match the dormer windows. The use of zinc is considered acceptable as it provides a clear distinction between the existing building and the modern proposed extensions. However, in order to ensure the colour and type of material proposed would be acceptable a condition has been recommended to ensure the materials are submitted and approved to the Local Planning Authority prior to the commencement of the relevant works.
- 9.67 Overall, subject to the recommended conditions the proposal is considered to preserve the visual appearance and historic character of the host building and wider Hat and Feathers Conservation Area and Mayor of London's Strategic View (Alexandra Palace viewing terrace to St Paul's Cathedral). The proposal is therefore considered compliant with policies CS8 and CS9 of the Islington Core Strategy (2011), DM2.1, DM2.3 and DM2.4 of Development Management Policies (2013) and D1, D4 and HC1, HC2 and HC4 of the London Plan (2021), and is acceptable in design terms.

### **Neighbouring Amenity**

- 9.68 The Development Plan contains policies that seek to appropriately safeguard the amenities of residential occupiers when considering new development. London Plan policy D14 identifies that buildings should not cause unacceptable harm to the amenity of in particular, residential buildings in respect of matters including privacy and overshadowing.
- 9.69 The National Planning Policy Framework identifies as a core planning principle that planning should always seek a high quality of design and a good standard of amenity for all existing and future occupants of land and buildings.

- 9.70 Policy D14 (part A) of the London Plan 2021 states that development proposals should seek to manage noise by mitigating and minimising the existing and potential adverse impacts of noise on, from, within, as a result of, or in the vicinity of new development; separating new noise sensitive development from major noise sources through the use of distance, screening or internal layout in preference to sole reliance on sound insulation; controlling and mitigating potential adverse effects through the application of good acoustic design principles; and promoting new technologies and improved practices to reduce noise at source and on the transmission path from source to receiver.
- 9.71 Development Management Policy DM2.1 (part Ax) confirms that, for a development proposal to be acceptable it is required to provide a good level of amenity including consideration of noise and the impact of disturbance, hours of operation, vibration, pollution, fumes between and within developments, overshadowing, overlooking, privacy, direct sunlight and daylight, over-dominance, sense of enclosure and outlook.

*Daylight/Sunlight and outlook*

- 9.72 In general, for assessing the sunlight and daylight impact of new development on existing buildings, Building Research Establishment (BRE) Guidelines are adopted. In accordance with both local and national policies, consideration has to be given to the context of the site, the more efficient and effective use of valuable urban land and the degree of material impact on neighbours. BRE Guidelines paragraph 1.1 states:

*“People expect good natural lighting in their homes and in a wide range of non-habitable buildings. Daylight makes an interior look more attractive and interesting as well as providing light to work or read by”.*

- 9.73 Paragraph 1.6 states:

*“The advice given here is not mandatory and the guide should not be seen as an instrument of planning policy; its aim is to help rather than constrain the designer. Although it gives numerical guidelines, these should be interpreted flexibly since natural lighting is only one of many factors in site layout design...In special circumstances the developer or local planning authority may wish to use different target values. For example, in a historic city centre, or in an area with modern high rise buildings, a higher degree of obstruction may be unavoidable if new developments are to match the height and proportions of existing buildings”.*

- 9.74 Daylight: the BRE Guidelines stipulate that... *“the diffuse daylighting of the existing building may be adversely affected if either:*

- *the VSC [Vertical Sky Component] measured at the centre of an existing main window is less than 27%, and less than 0.8 times its former value*
- *the area of the working plane in a room which can receive direct skylight is reduced to less than 0.8 times its former value.” (No Sky Line / Daylight Distribution).*

- 9.75 The BRE Guidelines state (paragraph 2.1.4) that the maximum VSC value achievable is almost 40% for a completely unobstructed vertical wall. At paragraph 2.2.7 of the BRE Guidelines it states:

*“If this VSC is greater than 27% then enough skylight should still be reaching the window of the existing building. Any reduction below this level should be kept to a minimum. If the VSC, with the development in place is both less than 27% and less than 0.8 times its former value, occupants of the existing building will notice the reduction in the amount of skylight. The area lit by the window is likely to appear more gloomy, and electric lighting will be needed more of the time.”*

9.76 At paragraph 2.2.8 the BRE Guidelines state:

*“Where room layouts are known, the impact on the daylighting distribution in the existing building can be found by plotting the ‘no sky line’ in each of the main rooms. For houses this would include living rooms, dining rooms and kitchens. Bedrooms should also be analysed although they are less important... The no sky line divides points on the working plane which can and cannot see the sky... Areas beyond the no sky line, since they receive no direct daylight, usually look dark and gloomy compared with the rest of the room, however bright it is outside”.*

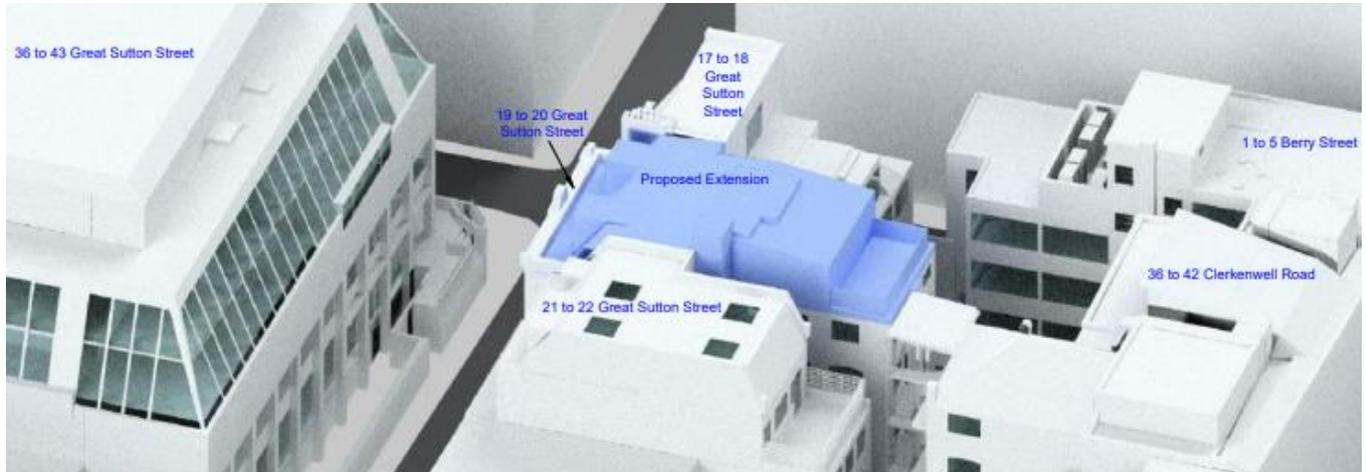
9.77 Sunlight: The BRE Guidelines (2011) state in relation to sunlight at paragraph 3.2.11:

*“If a living room of an existing dwelling has a main window facing within 90° of due south, and any part of a new development subtends an angle of more than 25° to the horizontal measured from the centre of the window in a vertical section perpendicular to the window, then the sunlighting of the existing dwelling may be adversely affected. This will be the case if the centre of the window:*

- *Receives less than 25% of annual probable sunlight hours, or less than 5% of annual probable sunlight hours between 21 September and 21 March and*
- *Receives less than 0.8 times its former sunlight hours during either period and*
- *Has a reduction in sunlight received over the whole year greater than 4% of annual probable sunlight hours.”*

#### Analysis of Daylight Impact on Affected Properties:

9.78 A Daylight & Sunlight Report has been submitted in support of the application by Right of Light Consulting (titled Daylight and Sunlight Study (Neighbouring Properties) dated 22 July 2020). The report considers the impact on all the surrounding residential windows facing the application site, which include dwellings on Great Sutton Street, Clerkenwell Road, and Berry Street.



**Image 12:** Massing diagram showing proposed extension (in blue) and neighbouring properties assessed.

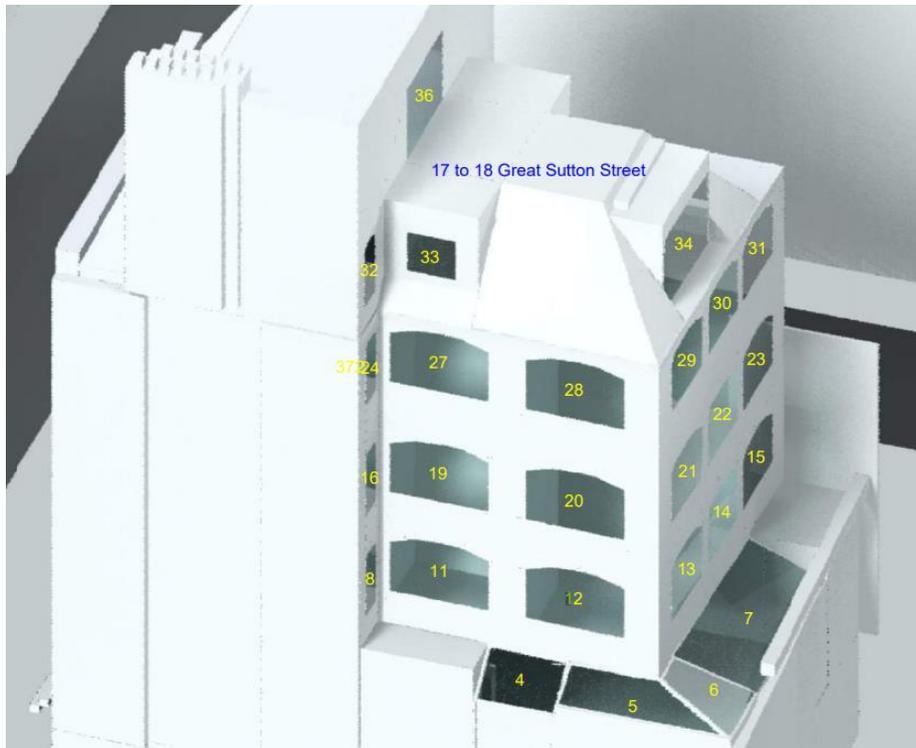
#### Great Sutton Street

9.79 The report has assessed the impact on no's 17 to 18, 19 to 20, 21 to 22 and 36 to 43 Great Sutton Street. The report confirms that all of the windows with a requirement for daylight pass the Vertical Sky Component test along Great Sutton Street, with the exception of some of the windows at no's 17 to 18 Great Sutton Street.

9.80 No's 17 to 18 Great Sutton Street located immediately adjacent to the east, consists of a six storey building. The separation distance between the existing side elevation of the rear outrigger of the host building, and the side elevation of this adjacent property is 2.6m, which would be retained. Out of the 37 windows tested, 7 windows result in transgressions against the BRE Guidelines in relation to VSC criteria, of which 3 windows would also fail the Daylight Distribution criteria. The impacts on daylight for this property have been assessed and are shown below:

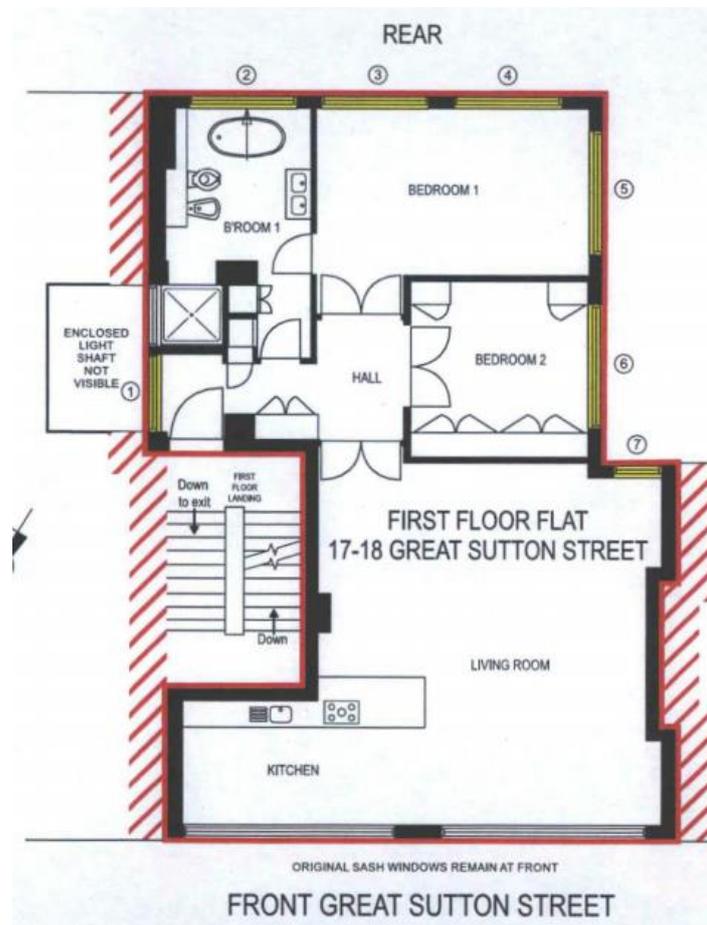
17 to 18 Great Sutton Street			Vertical Sky Component			No Sky Line (Daylight Distribution)		
	Window number	Room use	Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing (%)	Proposed (%)	Percentage reduction
First floor	11	Bedroom	0.9	0.7	22%	5	4	20%
Second floor	19	Domestic	1.8	1.1	30%	10	6	40%
	20	Domestic	2.4	1.6	33%	97	97	0%
Third floor	27	Bedroom	4.8	2.8	58%	28	12	57%
	28	Bedroom	6.4	3.1	52%	99	99	0%
Fourth floor	32	Staircase	23.4	17.2	36%	92	62	33%
	33	Bathroom	17.3	5.6	68%	95	95	0%

**Table 1:** Daylight assessment of the windows within no. 17 to 18 Great Sutton Street which would result in a breach of BRE Guidelines.



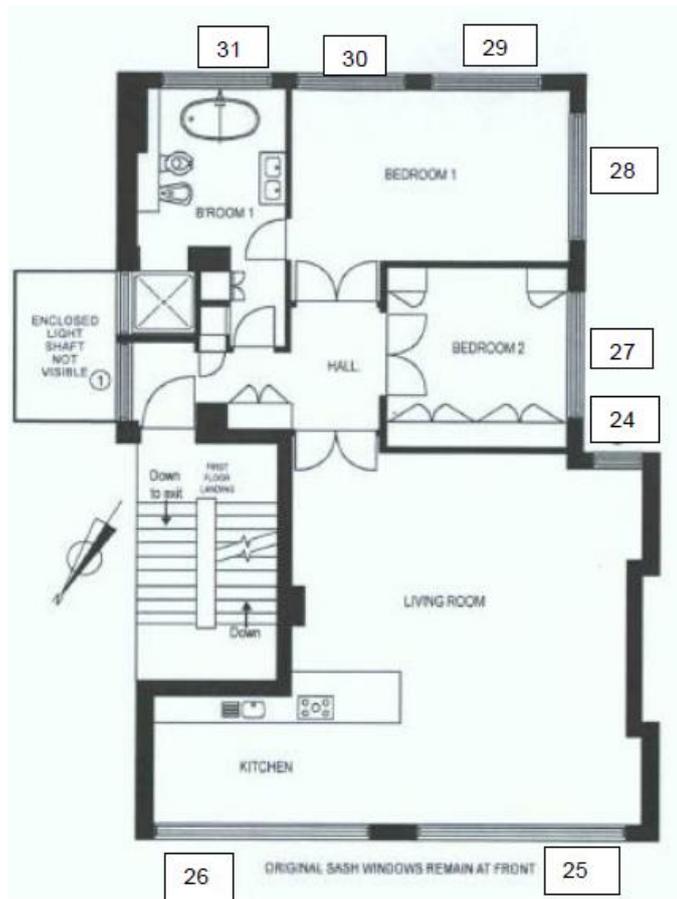
**Image 13:** 3D model within submitted Daylight and Sunlight Report showing windows assessed with adjacent building (no. 17 to 18 Great Sutton Street)

- 9.81 As noted in the submitted Daylight and Sunlight Report, window no's 11 and 32 at 17 to 18 Great Sutton Street demonstrate transgressions and achieve a before/after ratio of marginally less than the recommended 0.8 (achieving 0.78 & 0.74 respectively). The five remaining windows (no's 19, 20, 27 & 28) at 17 to 18 Great Sutton Street, which fail to meet the BRE Guidelines criteria in respect of VSC, currently face the existing flank wall of the development site, and so daylight availability is already very low. Therefore, the loss ratio appears disproportionately high, but in real terms the loss is relatively small.
- 9.82 The report has also identified that the rooms served by windows 20, 28 & 33 each have two additional windows at the rear, which are only slightly smaller than the side window. Windows 13, 14, 21, 22, 27, 28, 34 & 35 have much higher existing VSC levels, and are therefore likely to be considered the main windows to the rooms in terms of how much daylight they receive. These windows are also all compliant with the VSC recommendations.
- 9.83 As shown in the table above (Table 1) three of the seven windows which failed the VSC criteria (no's 19, 27 and 32) at 17 to 18 Great Sutton Street would also fail meet the BRE Guidelines in respect of daylight distribution (No sky line). The room served by window 19 already has a low daylight distribution score and therefore any change is disproportionately high in percentage terms. As mentioned above, it currently faces the existing flank wall of the site which significantly limits the amount of sky visible from within the room. As with VSC, the existing low score therefore presents a large percentage reduction, but in real terms a loss of 4% is unlikely to be noticeable to the occupant.
- 9.84 Following an investigation of the Council's planning records the layout of the existing residential units within no. 17 and 18 Great Sutton Street appear to be replicated. The first floor flat is shown in the image below (Image 14) which is taken from the recently approved development (Ref. P2016/0105/FUL) at this level.



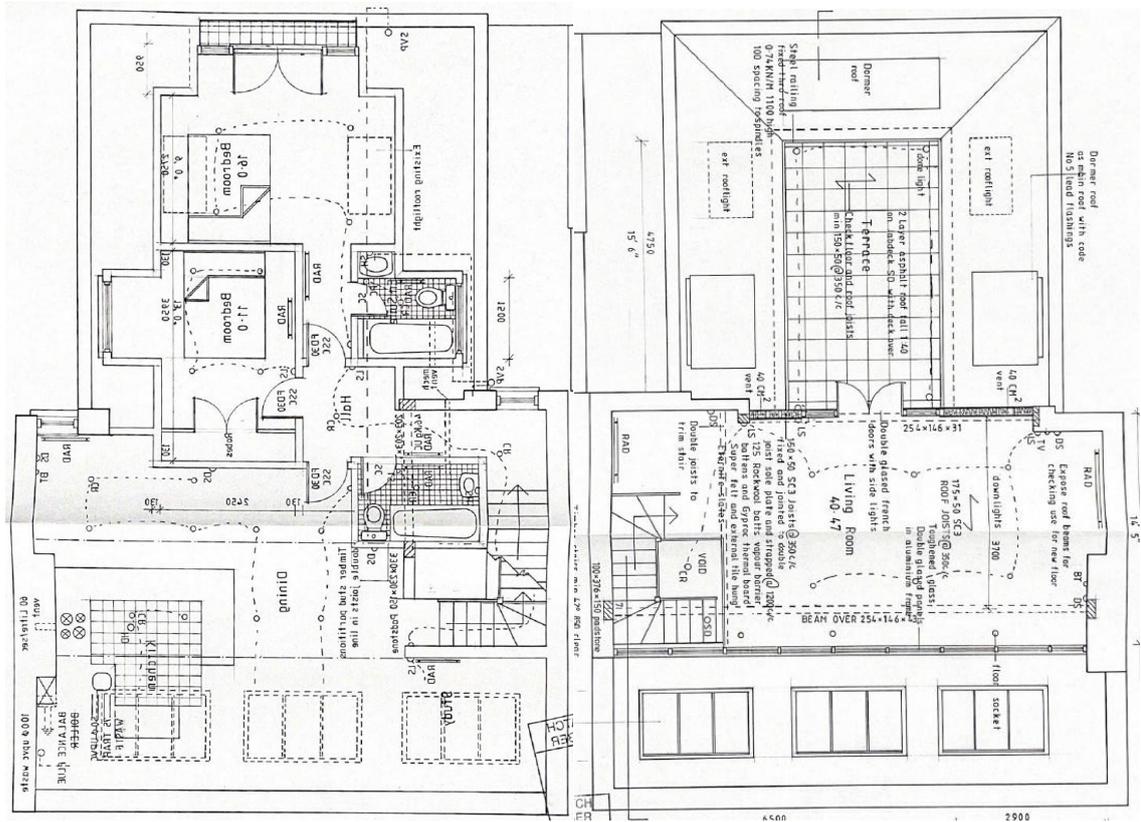
**Image 14:** Approved layout at first floor within adjacent building (no. 17 to 18 Great Sutton Street) from Ref. P2016/0105/FUL

9.85 Whilst the Council has been unable to find a copy of the second floor plan, layout details of the remaining upper floors of the building have been identified. In terms of the third floor, using internal photos the applicant has been able to show the layout of the unit at this level. As shown in the image below (Image 15), the unit at this level would largely replicate the layout in Image 14 with the living areas located towards the front and the bedrooms located to the rear.



**Image 15:** Second Floor layout from internal photos

9.86 In addition, the Council has been able to locate the approved drawings for the approved roof extension (Ref. 971096) which has been implemented. The approved drawings include the layout for the fourth and constructed fifth floor, which includes a roof terrace at fifth floor (shown in Image 16). This shows that as with the units to first and third floors, the layouts are characterised as having bedrooms located to the rear with the living areas to the front of the building.



**Image 16:** Approved fourth (left) and fifth (right) of roof extension Ref. 971096

- 9.87 Whilst the Council has been unable to locate the layouts of the second floor unit, given the similarities of the existing layouts of the rest of the building it is reasonable to assume that this level would have a similar if not identical layout as the rest of the upper floors of the building, and therefore the assessment on the levels of daylight is based on these assumptions.
- 9.88 As noted above, three of the seven windows which show transgressions in VSC levels (no's 19, 27 and 32) at 17 to 18 Great Sutton Street would also transgress the BRE Guidelines in respect of daylight distribution (No Sky Line). These windows are located at second (no. 19), third (no. 27) and fourth (no. 32) floors. As shown in image 16, window no. 32 serves a staircase and is therefore a non-habitable room and therefore does not require assessment. The other two windows (no's 19 and 27) are located at second and third floor on the side elevation (see image 13), immediately adjacent to the rear elevation of the main part of the host building. These windows are also above window no. 11 at first floor level which has both VSC and daylight distribution transgressions. The windows at first and third floors (and therefore assumed at second floor), all serve bedrooms. Whilst it is acknowledged that these bedrooms are single aspect, as noted in the BRE Guidelines the levels of daylight/sunlight required for bedrooms is less than living rooms and kitchens.
- 9.89 The other windows that would result in transgressions against the BRE criteria, are located at second (no. 20) and third (no. 28) floor on the side elevation towards the rear of the building, as well as at fourth (no. 33) within the projecting dormer window. The layouts above windows at second (assumed) and at third floor, which would have a loss of VSC levels breaching BRE Guidelines, serve bedrooms. However, it should be noted that these rooms benefit from dual aspect, with windows to the rear which would be in full compliance with BRE guidelines. It is therefore considered that occupiers of these bedrooms would benefit from acceptable levels of daylight/sunlight and therefore this loss is acceptable.
- 9.90 The fourth floor layout shows that the window (no. 33) at this level, which breaches BRE guidelines is a bathroom and therefore is a non-habitable room, and this loss is considered acceptable.

9.91 Overall, it is acknowledged that the proposal would result in transgressions against BRE guidelines, which counts against the scheme in the overall planning balance. However, in terms of the layouts of the existing units, 2 no. of these windows serve non-habitable rooms (no's 32 and 33). Whilst the remaining windows experiencing transgressions would serve habitable rooms, 2 no. of these bedrooms have dual aspect, with the other openings complying with BRE guidelines. It is acknowledged that the two windows (no's 19 and 27) breaching BRE guidelines in respect of both VSC and Daylight Distribution serve bedrooms at second and third floors would be single aspect. However, it should be noted that all of the remaining windows tested (37 in total) containing residential properties within 17-18 Great Sutton Street, as well as other buildings along this street, pass the BRE Guidelines in this regard. Bearing in mind the overall neutral impact of the development in design and visual terms it is considered that the harm to adjoining residents amenity levels in terms of daylight would not be so material in scope to justify refusal of the application on this basis as part of the overall planning balance.

*Sunlight*

9.92 Notwithstanding the above, it is also important to consider the impact in terms of sunlight. The submitted report confirms that all windows that face within 90 degrees of due south have been tested for direct sunlight. All windows for no. 17 to 18 Great Sutton Street with a requirement for sunlight pass both the total annual sunlight hours test and the winter sunlight hours test, with the exception of window 27. The table below shows how this window compares to the BRE Guidelines

17 to 18 Great Sutton Street			Sunlight to windows					
			Total Sunlight Hours			Winter Sunlight Hours		
	Window number	Room use	Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing (%)	Proposed (%)	Percentage reduction
Third floor	27	Bedroom	13	8	38%	3	2	33%

**Table 2:** Sunlight assessment of the windows within no. 17 to 18 Great Sutton Street which would result in a breach of BRE Guidelines.

9.93 It is acknowledged this transgression of BRE Guidelines for sunlight would also be one of the two windows most impacted for daylight, resulting in a reduction of both total and winter sunlight hours. Whilst this reduction counts against the scheme, the window serves a bedroom, which has a reduced requirement for sunlight in comparison to living areas. All of the remaining windows serving residential properties pass BRE Guidelines in regards to sunlight.

9.94 Overall, it is acknowledged that the proposal would result in transgressions to BRE Guidelines, in regards to daylight/sunlight the most significant of these relate to only 2 of the 37 windows tested. Whilst it is acknowledged that this counts against the scheme, it is not considered to warrant the refusal of the application.

Clerkenwell Road

9.95 The report has assessed the impact on no's 36 to 42 Clerkenwell Road. The report confirms that 1 window of the 147 windows tested fail to meet the BRE Guidelines VSC criteria, all of the windows tested pass the BRE Daylight Distribution requirements. The table below shows the results of the 1 window:

36 to 42 Clerkenwell Road			Vertical Sky Component			No Sky Line Daylight Distribution)		
	Window number	Room use	Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing (%)	Proposed (%)	Percentage reduction
Second floor	130	Domestic	3.2	2.5	22%	98	98	0%

**Table 3:** Daylight assessment of the windows within no. 36 to 42 Clerkenwell Road which would result in a breach of BRE Guidelines.



**Image 17:** 3D model within submitted Daylight and Sunlight Report showing windows assessed with adjacent building to rear (no. 36 to 42 Clerkenwell Road)

9.96 The results shows that whilst window 130 at 36 to 42 Clerkenwell Road would fail the VSC criteria, this failure is considered to be fairly borderline, achieving a before/after ratio of slightly less than the recommended 0.8 (achieving 0.78), and have existing low levels of daylight.

#### *Sunlight*

9.97 The submitted report confirms that all windows that face within 90 degrees of due south have been tested for direct sunlight. All windows for no. 36 to 42 Clerkenwell Road with a requirement for sunlight pass both the total annual sunlight hours test and the winter sunlight hours test.

9.98 Given the full compliance in regards to sunlight, on balance, the transgressions in relation to daylight to 1 no. in regards to VSC is considered to be on balance acceptable.

- 9.99 The report confirms that all gardens and open spaces tested meet the BRE recommendations for sun on ground.
- 9.100 The submitted report has identified a number of windows at 36 to 42 Clerkenwell Road and 19 to 20 & 21 to 22 Great Sutton Street appear to be non-domestic, and commercial uses. Whilst the report has identified transgressions in regard to the BRE Guidelines, given the site context, existing levels of daylight and sunlight, the layout and use of the rooms impacted, the uses of the surrounding properties and the benefits of the proposal, in this case it is considered that this can be accepted.
- 9.101 Overall, whilst it is acknowledged that the proposal would result in BRE transgressions in relation to daylight/sunlight to neighbour properties, whilst these transgressions count against the scheme, given the mitigating circumstances described above, on balance, the proposal is considered to be acceptable in this regard

#### *Privacy*

- 9.102 The additional openings, to the front, rear and side elevations of the proposal are not considered to result in any significant privacy issues to neighbouring properties over and above the existing situation, particularly as the proposal relates to a commercial building. However, a condition has been recommended for the side elevation windows to be obscure glazed to protect the privacy of neighbouring properties.
- 9.103 However, the proposed roof terrace has the potential to result in overlooking to neighbouring properties, therefore a condition has been recommended to ensure that the details of the balustrades are submitted and approved prior to the first use of these areas, to ensure the privacy of these neighbouring properties are protected. In addition, a condition has been recommended to ensure the proposed side elevation windows are obscure glazed.

#### *Sense of enclosure and outlook*

- 9.104 Notwithstanding the above, it is also to consider the potential impact on the neighbouring properties in regards to the sense of enclosure and outlook to the neighbouring properties, particularly those to the east and west, no's 17-18 and 21-22 respectively. The design of the existing buildings to the rear includes a gap between the side elevations above ground floor.
- 9.105 The existing gap between the west side elevation of the upper floors (first to fourth) of the host building and the east side elevation is 3.45m. The proposal would result in additional floor of accommodation at fifth (roof) floor which would match the floors below, maintaining this separation distance, and would extend to match the corresponding roof level addition to no. 21-22 Great Sutton Street.
- 9.106 Whilst it is acknowledged that the proposal would impact the outlook and sense of enclosure to this property, as result in the increase in height of the building (maximum 3.9m and 3.4m to the eaves) this property is not residential being used as an office, which has a less of a requirement for outlook. Therefore, whilst it is acknowledged it would result in an additional storey of accommodation, given that the proposal would maintain the separation and it would benefit from being relatively open towards the rear which is south facing it is considered acceptable.
- 9.107 It is acknowledged that the property to the east (no. 17 to 18) includes a number of residential units therefore the potential for loss of outlook and sense of enclosure to these units is increased in comparison to a commercial use.
- 9.108 As with the west elevation, the proposal would maintain the existing separation distance which is currently 2.6m as found on the upper floors. However, due to the shape of this adjacent building, this separation distance only relate to first to third floors of the host building. The fourth floor of the adjacent building is set away from the shared boundary and floors below, with the only window at this level is a non-habitable room and serves a bathroom. The main living areas at this roof level are located towards the north of the site. In addition, the rear addition to no. 17-18 Great Sutton Street is restricted in terms of its projection. The only habitable windows to this adjacent property

relate to bedrooms, which have less of a requirement for outlook in comparison to living areas. As noted in the daylight/sunlight assessment above, the bedrooms to the rear are dual aspect, therefore whilst it is acknowledged that the additional floor may result in an increased sense of enclosure in comparison to the existing situation it is not considered to warrant the refusal of the application.

#### *Noise*

- 9.109 In accordance with the Council's local validation list an Environmental Noise Survey and Plant Noise Assessment Report (ref. 27491/PNA1 dated 16 December 2019) by Hann Tucker Associates was submitted in support of the application.
- 9.110 The Council's Public Protection Environmental Health Officer reviewed the submitted report and has acknowledged that there is a significant number of items of plant on the roof already and on neighbouring properties.
- 9.111 The Environmental Health Officer confirmed that there are no complaints listed about the existing plant equipment, which would be replaced. The officer also raised questions regarding the lack of details on the type of proposed plant equipment and hours of operation. However, the Officer has advised that no objections are raised subject to conditions to mitigate against adverse impacts for nearby receptors, being the overall noise levels and an associated verification report to confirm these noise levels are met post installation.
- 9.112 In terms of the use of the proposed roof terrace, the Environmental Health Officer has advised that to control the noise impacts of its use a condition should be recommended to restrict its use to between 0900 to 1900 hours Monday to Friday only. It is considered that subject to these conditions the proposed plant equipment would have an acceptable impact on neighbouring properties in terms of noise.
- 9.113 Concerns have been raised in representations in relation to the noise and disruption during the construction period. A condition has been recommended to ensure that a Construction and Environmental Management Plan is submitted prior to any superstructure works commence on site, to ensure details of the measures to mitigate the impact are followed throughout this construction period.

#### *Light pollution*

- 9.114 A condition has been recommended for details of measures to mitigate light pollution to neighbouring properties from the proposed extension.

#### Conclusion

- 9.115 Given the above assessment, together with the comments from the Council's Environmental Health Pollution Officer who has raised no objections to the proposal, on balance, it is considered to have an acceptable impact on the amenity impact on neighbouring properties, and the proposal is considered to be compliant with Development Management Policies DM2.

#### **Accessibility and Fire Safety**

- 9.116 Policy DM2.2 seeks to ensure that all developments demonstrate that they provide for ease of and versatility in use. The Council's Inclusive Design and Building Control Officer has reviewed the proposal. Whilst the Officer welcomed the inclusion of lift access a number of concerns were raised in regard to providing accessible accommodation including its access from street level, and the relationship with the public house at ground and basement floors. It should be noted that the site is subject to an approval relating to the ground and basement levels, which is material consideration in the assessment of this application (ref. P2020/2445/FUL) which includes some accessible measures.

9.117 The applicant has been amended to incorporate some of the measures suggested by the Council's Officers which is welcomed. Due to site constraints not all of these suggestions were able to be integrated into the scheme. However, the level of accessibility to the top floor is good and the applicant has confirmed that the proposal will comply with Building Regulations, and is guided by their Approved Inspector to ensure compliance, and it should be noted that the internal changes to the existing part of the building do not require planning permission. It is therefore considered acceptable in this regard.

### **Sustainability**

9.118 Policy DM7.1 seeks to ensure developments integrate best practice sustainable design standards (as set out in the Environmental Design SPD), during design, construction and operation of the development.

9.119 Part C of this policy requires the developments for extensions of 100 sqm or greater to commercial buildings, to be accompanied by a Sustainable Design and Construction Statement (SDCS), which should set out how the application complies with relevant sustainable design and construction policies and guidance.

9.120 Whilst the application does not include a SDCS a condition has been recommended to ensure this is submitted prior to the commencement of the development in accordance with the Environmental Design SPD. As noted in Policy DM7.1D the SDCS is required to clearly set out how the application complies with relevant sustainable design and construction policies and guidance.

9.121 Policy DM7.2 seeks to ensure developments achieve best practice energy efficiency standards, in terms of design and specification. Policy DM7.4 seeks to ensure all developments are required to comply with Islington's Code of Practice for Construction Sites. Part G of this policy requires non-residential extensions of 100m<sup>2</sup> or greater, are required to demonstrate how they would achieve all credits for water efficiency in the relevant BREEAM scheme. Where it is demonstrated that this is not reasonably possible, developments (subject to the above exclusions) are required to achieve at least 2 credits for water efficiency in the relevant BREEAM scheme.

9.122 Policy DM6.5C seeks to ensure developments maximise the provision of green roofs and the greening of vertical surfaces as far as reasonably possible, and where this can be achieved in a sustainable manner, without excessive water demand. It is acknowledged that the proposal does not include a green roof to comply with this policy. However, the lack of compliance is not considered to warrant the refusal of the application.

### **Highways**

9.123 Policy DM8.2 seeks to ensure developments meet the transport needs of the development and address its transport impacts in a sustainable manner and in accordance with best practice. The site is within a highly accessible central London location with excellent public transport provision, with a PTAL (Public Transport Accessibility Level – Transport for London) of 6a, where 0 is the worst and 6 the best. The site has several bus routes nearby, and within walking distance of both of the Barbican Station (Underground) and Farringdon Station (Underground and Rail).

9.124 To ensure the impact on the local highway network is minimised during the construction period, as noted in the amenity section, a condition has been recommended for the submission of a Construction and Environmental Management Plan.

9.125 Policy DM8.4C seeks to ensure developments creating new commercial units, and extensions of 100 sqm or greater, provide cycle parking in accordance with the minimum standards set out in Appendix 6. For office accommodation (former B1(a) use) Appendix 6 requires storage for 1 cycle per 80 sqm, therefore at an increase in 2 no. cycles. This policy advises that cycle parking is required to be designed to best practice standards and shall be secure, sheltered, integrated, and conveniently located, adequately lit, step-free and accessible.

- 9.126 Whilst details of cycle storage have not been submitted, a condition is recommended for storage for a minimum of 2 no. cycles to be provided.
- 9.127 Policy DM8.6 seeks to ensure adequate service and delivery arrangements. Given the proposal would relate to an extension to an existing commercial use, and the proposal would retain the existing arrangements the additional floorspace created by the proposal is considered acceptable in this regard.

### **Other matters**

- 9.128 The neighbour consultation process has resulted in concerns being raised about the impact on the value of neighbouring properties. However, the impact on the value of properties is not a material planning consideration, and therefore cannot be taken into consideration of the assessment of the application.
- 9.129 Representation have also been received in relation to the density of the host building. The London Plan has been updated to remove prescribed density figures and proposals should be assessed on the basis of material planning considerations and context.

## **10. SUMMARY AND CONCLUSION**

### **Summary**

- 10.1 The application seeks planning permission for a single storey extension at roof level, which also includes a proposed plant enclosure and lift overrun above. To the rear elevation of the extension at roof level the proposal includes a roof terrace, and to the front elevation the proposal includes changes to the shopfront at ground floor. These proposed shopfront changes which improve the entrance to the office accommodation were approved and benefit from an extant planning permission (Ref. P2020/2445/FUL). This application included internal alterations resulting in the partial loss (11sqm) of the existing public house at ground and basement level, which was considered acceptable.
- 10.2 In design terms the proposed roof extension is considered to preserve the visual appearance and historic character of the host building and wider Hat and Feathers Conservation Area, given its existing context adjacent to existing roof additions, its setback from the principal elevation, which largely obscured from the public realm. It is also not to significantly impact the London Mayor's Protected Views. Therefore considered subject to conditions relating to the details of the materials the proposal would be acceptable in design terms.
- 10.3 In terms of daylight/sunlight the submitted Daylight and Sunlight Report has identified that there would be some transgressions of the BRE Guidelines. Whilst any breaches of BRE Guidelines count against the scheme, on balance, these are considered acceptable given some of the losses relating to secondary windows, the use of the rooms and existing low levels of daylight/sunlight. The proposal is considered to have an acceptable impact on the amenity impact on neighbouring properties in regards to sense of enclosure, noise, overlooking, and light pollution, with a number of conditions recommended to mitigate any impact.
- 10.4 In accordance with the above assessment, it is considered that, on balance, the proposed development is consistent with the policies of the London Plan, the Islington Core Strategy, the Islington Development Management Policies and associated Supplementary Planning Documents and should be approved accordingly.

### **Conclusion**

- 10.5 It is recommended that planning permission be granted subject to conditions as set out in Appendix 1 - RECOMMENDATIONS.

## APPENDIX 1 – RECOMMENDATIONS

That the grant of planning permission be subject to conditions to secure the following:

### List of Conditions:

<b>1</b>	<b>Commencement</b>
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
<b>2</b>	<b>Approved Plans List</b>
	<p>DRAWING AND DOCUMENT NUMBERS: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>Daylight and Sunlight Study (Neighbouring Properties) by Right to Light Consulting dated 22 July 2020, Design and Access Statement Ref. 6128 dated 12.03.21, Heritage Statement by Icenii dated August 2020, Planning Statement dated 11/08/20,</p> <p>T20099/P04 - Proposed Basement Plan, T20100/P04 - Proposed Ground Floor Plan, T20101/P04 - Proposed First Floor Plan, T20102/P04 - Proposed Second Floor Plan, T20103/P04 - Proposed Third Floor Plan, T20104/P04 - Proposed Fourth Floor Plan, T20105/P06 - Proposed Fifth Floor Plan, T20106/P06 - Proposed Roof Plan, T20201/P05 - Proposed Front Elevation, T20203/P05 - Proposed East Elevation, T20204/P05 - Proposed West Elevation, TT20202/P05 - Proposed Rear Elevation, T20301/P06 - Proposed Section AA, T20302/P05 - Proposed Section BB, T10001/P01 – Site Location Plan</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
<b>3</b>	<b>Materials (Details)</b>
	<p>CONDITION: For the hereby approved roof extension details and samples of all facing materials shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site. The details and samples shall include:</p> <p>a) Roofing materials (including colour)  b) Window details  c) Any other external changes</p> <p>The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>The external alterations at ground floor shopfront which shall be constructed in accordance with the materials shown in the approved drawings and Design and Access Statement.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
<b>4</b>	<b>Balustrades (Details)</b>
	<p>CONDITION: Notwithstanding the details shown on the hereby approved drawings, prior to the first use of the hereby approved rear roof terrace, details of the materials of the proposed balustrades shall be submitted and approved in writing by the Local Planning Authority. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter. The submitted details shall demonstrate that the proposed use of the roof terrace would not have a detrimental impact on the privacy of the occupiers of neighbouring properties.</p>

	REASON: In order to protect the amenity of neighbouring properties.
<b>5</b>	<b>Obscure glazing (Compliance)</b>
	<p>CONDITION: Prior to the first use of the hereby approved development, the side elevation windows to the east and west elevation of hereby approved roof extension, shall be installed with obscure glazing and be fixed shut, and shall be maintained as such into perpetuity, unless otherwise agreed with the Local Planning Authority.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
<b>6</b>	<b>Use of roof terrace (Compliance)</b>
	<p>CONDITION: The hereby approved roof terrace shown on drawing no. T20105 P06 shall only be used during the following hours:</p> <p>Monday to Friday 0900 to 1900 hours.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
<b>7</b>	<b>Noise levels (Compliance)</b>
	<p>CONDITION: The design and installation of new items of fixed plant shall be such that when operating the cumulative noise level LAeq Tr arising from the proposed plant, measured or predicted at 1m from the facade of the nearest noise sensitive premises, shall be a rating level of at least 5dB(A) below the background noise level LAF90 Tbg. The measurement and/or prediction of the noise should be carried out in accordance with the methodology contained within BS 4142: 2014.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
<b>8</b>	<b>Verification Report (Details)</b>
	<p>CONDITION: A report is to be commissioned by the applicant, using an appropriately experienced &amp; competent person, to assess the noise from the proposed mechanical plant to demonstrate compliance with condition 7. The report shall include site measurements of the plant insitu. The report shall be submitted to and approved in writing by the Local Planning Authority within three months of installation of the plant hereby permitted. All noise mitigation measures and controls shall be permanently retained thereafter.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>
<b>9</b>	<b>Restricted use (Compliance)</b>
	<p>CONDITION: Notwithstanding the provision of the Town and Country Planning (Amendment) (England) Regulations 2020, the additional floorspace at roof level hereby approved shall only be used as offices (Use Class E(g)(i)) and not for any other purpose whatsoever, without first obtaining planning consent from the Local Planning Authority.</p> <p>REASON: For the avoidance of doubt and to enable the Local Planning Authority to retain control over the development, in the interests of the use of the building and the amenity of the adjoining neighbours.</p>
<b>10</b>	<b>Light Pollution</b>
	<p>CONDITION: Prior to the first occupation of the hereby approved roof extension details of measures to mitigate light pollution shall be submitted and approved in writing by the Local Planning Authority. The approved details shall be implemented in full prior to the occupation of the development and retained thereafter into perpetuity.</p> <p>REASON: In order to protect the amenity of neighbouring properties.</p>

11	<p><b>Sustainable Design Construction Statement (Details)</b></p> <p>CONDITION: Prior to the commencement of the hereby approved development a Sustainable Design and Construction Statement shall be submitted and approved by the Local Planning Authority. The approved details shall be implemented in full and retained thereafter into perpetuity. The submitted details shall demonstrate how the proposal meets the Council's Sustainable Design policies.</p> <p>REASON: In order to ensure a sustainable form of development.</p>
12	<p><b>Accessible Measures (Compliance)</b></p> <p>CONDITION: The hereby approved development shall implement all of the accessible measures identified within the approved drawings and Design and Access Statement and these shall be retained thereafter into perpetuity.</p> <p>REASON: To ensure accessible accommodation.</p>
13	<p><b>Cycle storage (Compliance)</b></p> <p>CONDITION: Prior to the first use of the hereby roof extension, storage for a minimum of 2 no. cycles shall be provided and retained thereafter into perpetuity.</p> <p>REASON: To ensure adequate cycle storage</p>

## **APPENDIX 2: RELEVANT POLICIES**

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

### **1 National Guidance**

The National Planning Policy Framework 2021 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

- National Planning Policy Framework 2021

### **2. Development Plan**

The new London Plan was adopted on the 2nd March 2021. The adopted London plan has now full weight and is it is considered a material consideration. The adopted London Plan policies have been fully taken into account.

Therefore the Development Plan is comprised of the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

#### **A) The London Plan 2021 - Spatial Development Strategy for Greater London**

- Policy SD4 The Central Activities Zone (CAZ)
- Policy SD5 Offices, other strategic functions and residential development in the Central Activities Zone (CAZ)
- Policy D1 London's form, character and capacity for growth
- Policy D4 Delivering good design
- Policy D5 Inclusive design
- Policy D12 Fire safety
- Policy E1 Offices
- Policy HC2 Heritage assets
- Policy HC3 Strategic and Local Views
- Policy HC7 Protecting public houses
- Policy T4 Assessing and mitigating transport impacts
- Policy T5 Cycling

#### **B) Islington Core Strategy 2011**

- Policy CS7 Bunhill & Clerkenwell
- Policy CS8 Enhancing Islington's character
- Policy CS9 Protecting and enhancing Islington's built and historic environment
- Policy CS10 Sustainable design
- Policy CS13 Employment spaces

### **C) Islington Development Management Policies 2013**

- Policy DM2.1 Design
- Policy DM2.2 Inclusive Design
- Policy DM2.3 Heritage
- Policy DM2.4 Protected views
- Policy DM4.3 Location and concentration of uses
- Policy DM4.4 Promoting Islington's Town Centres
- Policy DM4.12 Social and strategic infrastructure and cultural facilities
- Policy DM5.1 New business floorspace
- Policy DM7.1 Sustainable design and construction
- Policy DM7.4 Sustainable design standards
- Policy DM8.2 Managing transport impacts
- Policy DM8.4 Walking and cycling

### **D) Islington Finsbury Local Plan 2013**

- Policy BC7 Historic Clerkenwell
- Policy BC8 Achieving a balanced mix of uses

### **E) Emerging Islington Local Plan:**

- Policy PLAN1 – Site appraisal, design principles and process
- Policy SP1 – Bunhill and Clerkenwell
- Policy B2 – New business floorspace
- Policy DH1 – Fostering innovation and conserving and enhancing the historic environment
- Policy H2 – Heritage assets
- Policy S2 - Sustainable Design and Construction
- Policy T2 – Sustainable Transport Choices
- Policy DH5 – Agent-of-change, noise and vibration
- Policy DH7 - Shopfronts

## **3. Designations**

- Hat and Feathers Conservation Area
- Within 50m of Charterhouse Square Conservation Area
- Within 50m of Clerkenwell Green Conservation Area
- Bunhill & Clerkenwell Core Strategy Key Area
- Bunhill & Clerkenwell Finsbury Local Plan Area
- Employment Priority Area (General)
- Central Activities Zone (CAZ)
- Mayors Protected Vistas – Alexandra Palace viewing terrace to St Paul's Cathedral
- Article 4 (A1-A2 (Rest of Borough) and B1(c) to C3)
- Heathrow Safeguarding Zone

**Appendix 3** Decision notice for P2020/2445/FUL: Alterations to the front elevation at ground floor. Internal alterations for the change of use of part of the ground floor and basement level to allow for a partial loss of existing public house (sui generis) to office (Class E). Approved on 24/11/2020

**PLANNING DECISION NOTICE**



Development Management Service  
 Planning and Development Division  
 Environment & Regeneration Department

**Case Officer:** Daniel Jeffries  
**T:** 020 7527 2685  
**E:** planning@islington.gov.uk

**Issue Date:** 24 November 2020  
**Application No:** P2020/2445/FUL

*(Please quote in all correspondence)*

Rolfe Judd Planning  
 Old Church Court  
 Claylands Road  
 London  
 SW8 1NZ  
 United Kingdom

Dear Sir or Madam

**TOWN AND COUNTRY PLANNING ACTS**

**BOROUGH COUNCIL'S DECISION: Approve with conditions**

Notice is hereby given of the above stated decision of Islington Borough Council, the Local Planning Authority, in pursuance of its powers under the above mentioned Acts and Rules, Orders and Regulations made thereunder, relating to the application / development referred to below, at the location indicated, subject to the condition(s) listed and in accordance with the plans submitted, save insofar as may be otherwise required by the condition(s).

<b>Location:</b>	<b>19-20, Great Sutton Street, London, EC1V 0DR</b>		
<b>Application Type:</b>	<b>Full Planning Application</b>		
<b>Date of Application:</b>	10 September 2020	<b>Application Received:</b>	10 September 2020
<b>Application Valid:</b>	01 October 2020	<b>Application Target:</b>	26 November 2020

**DEVELOPMENT:** Alterations to the front elevation at ground floor. Internal alterations for the change of use of part of the ground floor and basement level to allow for a partial loss of existing public house (sui generis) to office (Class E).

**PLAN NOS:** 624.P.101 - Proposed Lower Ground Floor Plan, 624.P.102 - Proposed Ground Floor Plan, 624.P.107 - Proposed Front Elevation, 624GA107 Rev E - Proposed Front Elevation, T210100/Rev.P01, Location Plan & Design and Access Statement dated 16/11/20.

**CONDITIONS:**

- 3 YEAR CONSENT PERIOD:** The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.

**REASON:** To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).

- DRAWING AND DOCUMENT NUMBERS:** The development hereby approved shall be carried out in accordance with the following approved plans:

624.P.101 - Proposed Lower Ground Floor Plan, 624.P.102 - Proposed Ground Floor Plan, 624.P.107 - Proposed Front Elevation, 624GA107 Rev E - Proposed Front Elevation, T210100/Rev.P01, Location Plan & Design and Access Statement dated 16/11/20.

P-DEC-AP1

REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.

- 3 MATERIALS (COMPLIANCE): The development shall be constructed in accordance with the schedule of materials noted on the approved plans and within the Design and Access Statement. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter into perpetuity.

REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.

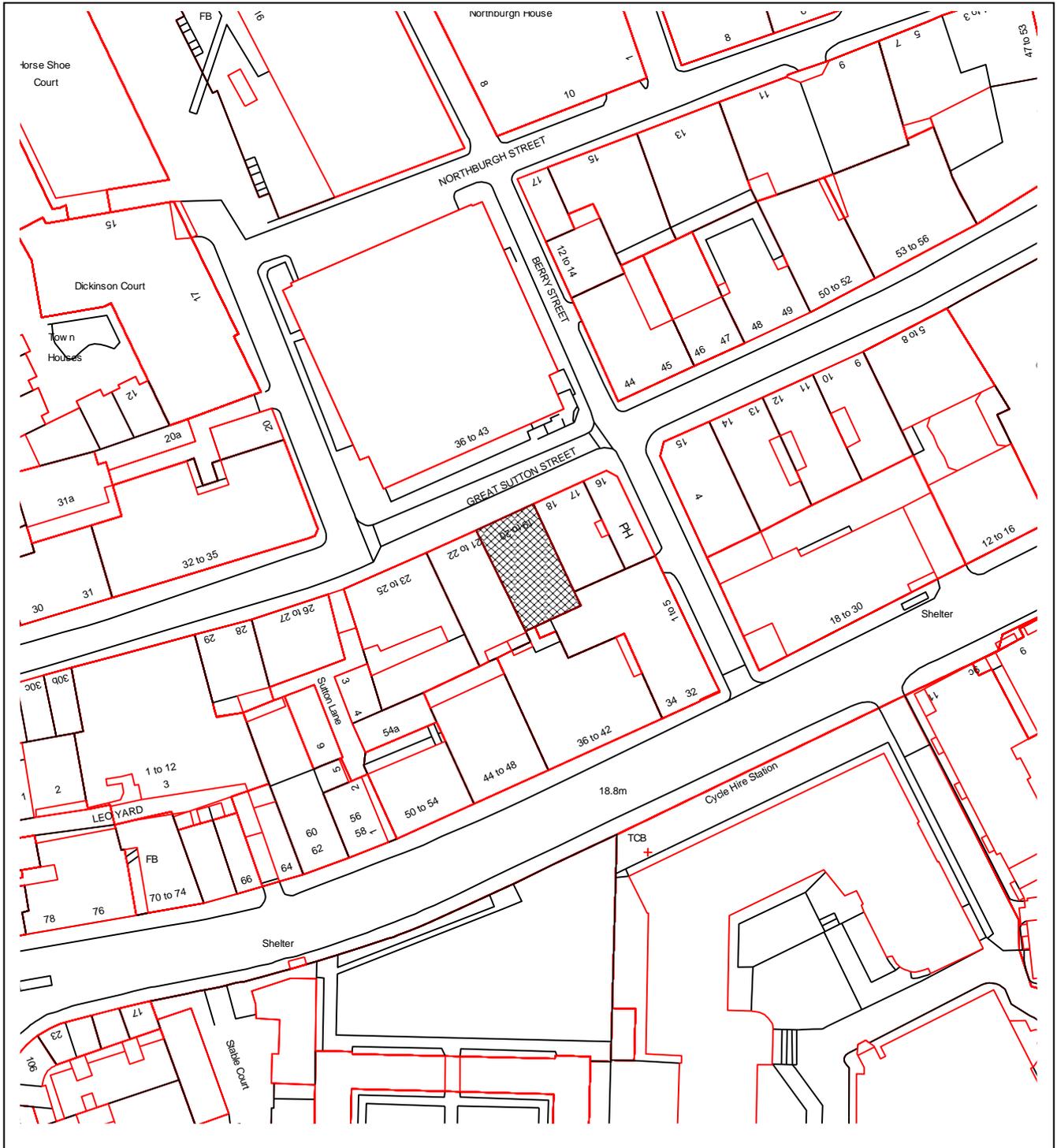
Certified that this document contains a true record of a decision of the Council

Yours faithfully

A handwritten signature in black ink that reads "Karen Sullivan". The signature is written in a cursive, flowing style.

**KAREN SULLIVAN  
SERVICE DIRECTOR - PLANNING AND DEVELOPMENT  
AND PROPER OFFICER**

# Islington SE GIS Print Template



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P2020/2129/FUL

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### PLANNING COMMITTEE REPORT

<b>PLANNING SUB-COMMITTEE A</b>		
<b>Date:</b>	6 <sup>th</sup> September 2021	<b>NON-EXEMPT</b>

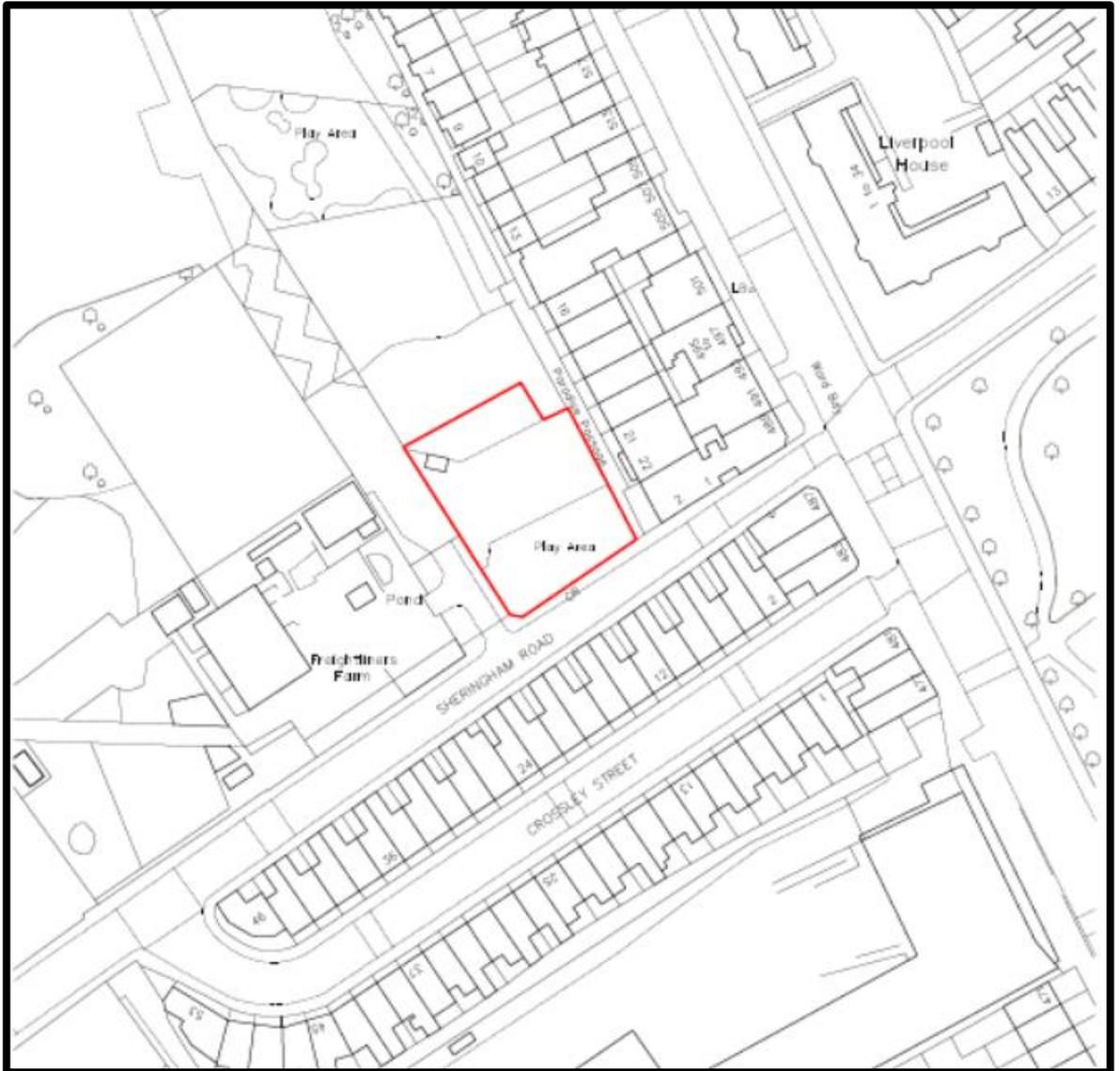
Application number	P2021/1860/FUL (Council own development)
Application type	Full Planning Application
Ward	Holloway
Listed building	No
Conservation area	N/A
Development Plan Context	Adventure Playground Major Cycle Route Mayor's Protected Vista- Alexandra Palace to St Paul's Cathedral Within 50m of St Mary Magdalene Conservation Area Article 4 Direction A1-A2 (Rest of Borough)
Licensing Implications	None
Site Address	Martin Luther King Centre, 3 Sheringham Road, London, N7 8PF
Proposal	Erection of a new single-storey building for use in connection with the adventure playground and other community uses with associated works.

Case Officer	Samir Benmbarek
Applicant	Islington Council
Agent	DMH Stallard

#### 1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to the conditions set out in Appendix 1

2. SITE PLAN (site outlined in red)



**3. PHOTOS OF SITE/STREET**



**Image 1:** Aerial view of site looking north.



**Image 2:** Aerial view of site looking south.



**Image 3:** View of site along Sheringham Road.



**Image 4:** Sheringham Road street scene. High level wall to the right bounds the adventure playground.



**Image 5:** Martin Luther King Adventure Playground with existing temporary cabin.



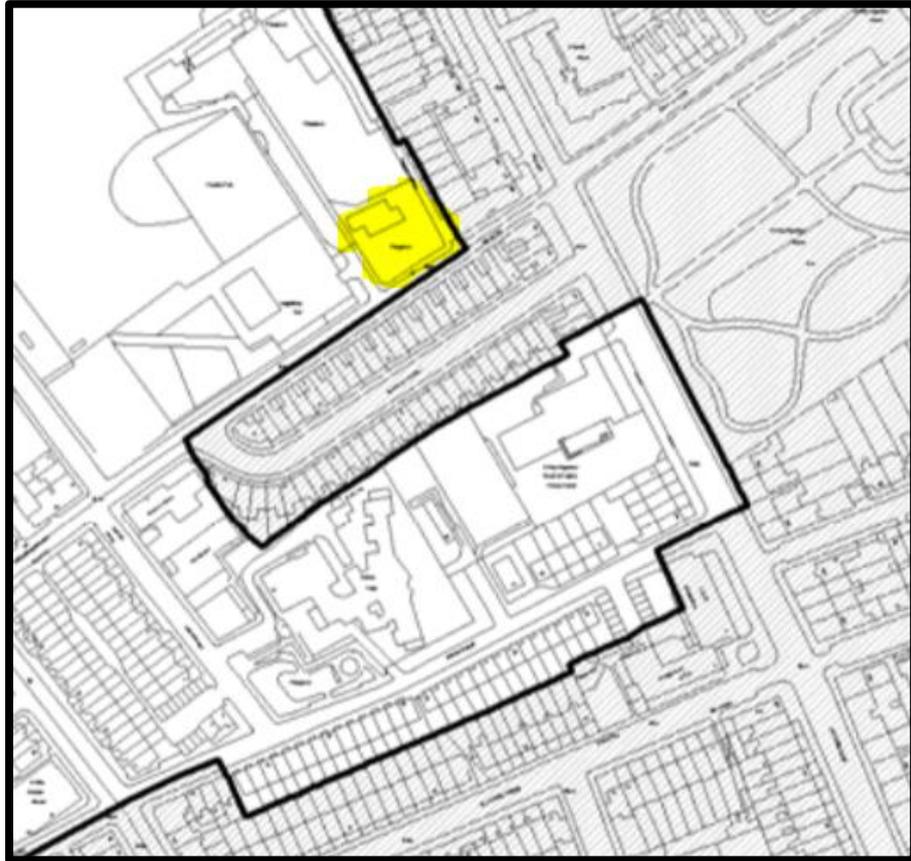
**Image 6:** Previous building demolished in 2018.

## **4. SUMMARY**

- 4.1 The application proposes the erection of a single storey building in association with the use of the children's adventure playground. The building would be constructed of coloured fibre cement corrugated sheeting and coloured fibre cement panels and would provide 100sqm of floorspace. The roof of the proposed building would have an overhang on its northern and western elevations which would provide 60sqm of sheltered outdoor space.
- 4.2 The proposed building would be used to support the existing children's adventure playground, but will also be used for wider community uses for the local area. The internal layout of the building includes a large main function space, and office, kitchen and storage space.
- 4.3 The proposed building would replace an existing temporary metal cabin building on the site, which in turn replaced a larger permanent building demolished in 2018. As such, the proposal would not result in a loss of space for the adventure playground use nor a decrease in social infrastructure use at the site.
- 4.4 The design of the new building is considered to be acceptable and would positively contribute to the character of the local street scene.
- 4.5 The proposed development is considered to not unduly impact the residential amenity of neighbouring properties in terms of loss of daylight and sunlight, overshadowing, reduction in outlook and increased sense of enclosure, loss of privacy and overlooking. The proposed development is also considered to not cause undue impact in respect to noise and disturbance subject to conditions. The proposal therefore accords with policy DM2.1 of the Islington Development Management Policies 2013.
- 4.6 The proposal is therefore considered to be acceptable and it is recommended that the application be approved subject to conditions.
- 4.7 The application is referred to committee as it is a Council own development.

## **5. SITE AND SURROUNDINGS**

- 5.1 The application site is an adventure playground located to the south side of Paradise Park with a boundary running along the northern side of Sheringham Road. The adventure playground is accessed by a servicing road within the park that bounds the site to the west as well as being accessed from within the park. The adventure playground consists of hard and soft landscaping and play equipment, with a metal container currently in place at the site providing a temporary building/storage unit associated with the use.
- 5.2 The adventure playground previously featured a single storey building which was demolished in 2018. The building had a footprint of approximately 155sqm and was constructed of black timber cladding with corrugated metal roofing.



**Image 7:** St Mary Magdalene Conservation Area boundary and site highlighted.

- 5.3 The adventure playground is neither statutorily nor locally listed. The site is not located within a designated conservation area; however, it is located within close proximity to the St Mary Magdalene Conservation Area.
- 5.4 The site is designated as an Adventure Playground under the Islington Development Management Policies 2013.
- 5.5 The character and use of Martin Luther King Adventure Playground and associated Paradise Park is open space with sports, leisure and general use and enjoyment. The adventure playground and park is a focal point within the wider residential character comprising a mix of typical terraced housing and modern residential developments within the adjoining streets.

## **6. PROPOSAL (IN DETAIL)**

- 6.1 The application proposes the erection of a single storey building in association with the use of the children's adventure playground. The building would be constructed of coloured fibre cement corrugated sheeting and coloured fibre cement panels and would have a floor area measuring 100sqm. The roof of the proposed building would have an overhang on its northern and western elevations which would provide 60sqm of sheltered outdoor space. The building would be set back from the high boundary wall along Sheringham Road by 1.5m.
- 6.2 The proposed building would be used to facilitate the existing children's adventure playground, but will also be used for wider community uses for the local area. The internal layout of the building includes a large main function space, and office, kitchen and storage.
- 6.3 The building would replace the temporary metal container building which itself replaced a timber clad building with a footprint of 155sqm. The resulting reduction in floorspace between the temporary buildings would be approximately 55sqm (one-third of the previously existing floorspace).

6.4 The new building would also have lettering on its fascia at roof level, reading 'MARTIN LUTHER KING ADVENTURE PLAYGROUND'. The colour of palette of the proposed development would be green, grey and teal. The previous building can be seen in image 6, earlier in this report.

## 7. RELEVANT HISTORY:

### Application Site

7.1 P2018/0833/PRA- Prior Approval for the demolition of the Martin Luther King Centre located adjacent to the playground. **Prior approval required-approved 17/05/2018**

7.2 Q2021/0934/MIN- Pre-Application: Erection of community building to replace existing temporary structures on site. **Pre-application advice issued 15/06/2021.**

7.3 Advised that a setback from the boundary wall along Sheringham Road should be incorporated and a contextual analysis of the area was required to inform the material palette for the building.

7.4 The applicant also undertook public consultation with the local community and Martin Luther King Adventure Playground users. The overall responses were to provide a new building that can meet many functions and events used by the local community as well as the everyday use of the adventure playground as well as the design and appearance of the building.

## 8. CONSULTATION

### Public Consultation

8.1 Letters were sent to occupants of 111 adjoining and nearby properties at Sheringham Road, Paradise Passage, Crossley Street and Liverpool Road and a site notice was displayed on the 07/07/2021. The public consultation of the application therefore expired on 04/08/2021; however, it is the Council's practice to continue to consider representations made up until the date of a decision.

8.2 At the time of the writing of this report, one response had been received from the public with regard to the application. The issues raised in the objection can be summarised as follows (with the paragraph that provides responses to each issue indicated in brackets):

### ***Neighbouring Amenity***

- Concern raised regarding opening hours;
- Access to roof;
- Impact on anti-social behaviour within Paradise Park and Paradise Passage;
- Replacement of existing damaged nets on top of wall fronting onto Paradise Passage- more 'natural' solutions preferred.

**(Paragraphs 10.39- 10.54)**

### Internal Consultees

8.3 **Design & Conservation:** There is no objection to the design of the proposed development. It is recommended to lower the lettering so that it is on the fascia rather than on top of the building for easier maintenance.

8.4 **Environmental Health:** No objection subject to condition regarding details of construction process.

## 9. RELEVANT STATUTORY DUTIES & DEVELOPMENT PLAN CONSIDERATIONS AND POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan document

### National Guidance

- 9.1 Islington Council (Planning Sub-Committee A), in determining the planning application has the main following statutory duties to perform:
- To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990);
  - To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington's Local Plan, including adopted Supplementary Planning Guidance.)
- 9.2 National Planning Policy Framework 2019 (NPPF): Paragraph 10 states: "at the heart of the NPPF is a presumption in favour of sustainable development.
- 9.3 The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.
- 9.4 Since March 2014 Planning Practice Guidance for England has been published online.
- 9.5 In considering the planning application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.
- 9.6 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:
- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.
  - Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.
- 9.7 Members of the Planning Sub-Committee A must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.
- 9.8 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to: (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act; (2) advance

equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it

9.9 In line with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, in assessing the proposals hereby under consideration, special regard has been given to the desirability of preserving the Conservation Area, its setting and any of its features of special architectural or historic interest.

9.10 In line with Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990. In assessing the proposals hereby under consideration, special regard has been given to the desirability of preserving the adjoining listed buildings, its setting and any of its features of special architectural or historic interest.

### **Development Plan**

9.11 The Development Plan is comprised of the London Plan 2021, Islington Core Strategy 2011 and the Islington Development Management Policies 2013. The policies of the Development Plan that are considered relevant to this application are listed at Appendix 2 to this report.

### **Designations**

9.12 The site has the following designations under the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Adventure Playground
- Major Cycle Route
- Mayors Protected Vista- Alexandra Palace to St Paul's Cathedral
- Within 50m of St Mary Magdalene Conservation Area

### **Supplementary Planning Guidance (SPG) / Document (SPD)**

9.13 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

### **Draft Islington Local Plan 2019**

9.14 The Regulation 19 draft of the Local Plan was approved at Full Council on 27 June 2019 for consultation and subsequent submission to the Secretary of State for Independent Examination. From 5 September 2019 to 18 October 2019, the Council consulted on the Regulation 19 draft of the new Local Plan. Submission took place on 12 February 2020 with the examination process in progress. As part of the examination, consultation on pre-hearing modifications took place from 19 March to 9 May 2021.

9.15 In line with the NPPF Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

9.16 Emerging policies relevant to this application are set out below:

- Policy SP8 – Highbury Corner and Lower Holloway
- Policy H1- Thriving communities
- Policy R1- Retail, leisure and services, culture and visitor accommodation
- Policy G1- Green Infrastructure

- Policy G2- Protecting open space
- Policy S1- Delivering sustainable design
- Policy S2- Sustainable design and construction
- Policy T2- Sustainable transport choices
- Policy T5- Delivery, servicing and construction
- Policy DH1- Fostering innovation while protecting heritage

## 10. ASSESSMENT

10.1 The main issues arising from this proposal relate to:

- Land Use
- Design
- Neighbouring Amenity
- Transport
- Sustainability
- Other Matters

### LAND USE

10.2 The site is a designated adventure playground, providing dedicated play space. While not designated Open Space, the site immediately abuts and provides facilities to complement the designated Open Space at Paradise Park. Policy CS15 of the Core Strategy states that the Council will provide inclusive spaces for residents and visitors, and create a greener borough by protecting all existing local open spaces, including open spaces of heritage value, as well as incidental green space, trees and private gardens.

10.3 Policy CS16 of the Core Strategy relates to the borough's play spaces and states that opportunities for play in Islington will be maximised through improving the quality and function of existing play spaces so that they can provide more play opportunities for different age groups and disabled children, particularly in those areas where opportunities for play are currently limited.

10.4 Part F of policy DM6.3 reads that the Council will protect existing play space across the borough by resisting their loss, unless:

- I. *a replacement play space of equivalent size and functionality is provided to meet the needs of the local population. Where this is not possible development will only be permitted in exceptional circumstances where there are over-riding planning merits to the proposal, and the capacity of other local play spaces shall be increased through a financial contribution to pay for expanded and improved provision that is adequate to meet the needs that the space lost was capable of meeting, plus the needs associated with any uplift or intensification proposed; or*
- II. *it can be demonstrated robustly that they are no longer required and that their loss would not lead to a shortfall in overall play provision in the local area.*

10.5 Part G of the policy states that all of the borough's adventure playgrounds will be protected.

10.6 Supporting text within paragraph 6.30 of the Development Management Policies details that given the valuable role of the borough's adventure playgrounds in providing play opportunities, their protection against change is important. The existing amount of formal play provision per child should be therefore be maintained.

- 10.7 Whilst policy DM6.3 provides a general protection to all open space, such protection is qualified according to particular designation. In this case, the site is not designated as public open space so whilst recognised as having value, part F of the policy specifies that development on such space can be accepted where replacement space is provided of the equivalent size and functionality to meet the needs of the local population. Where re-provision of the same size and functionality is not possible, this will only be permitted in exceptional circumstances where there are over-riding planning merits to the proposal.
- 10.8 The proposed development would result in the loss of 83sqm of open space but would not result in the loss of any existing play equipment. However, the new building would better facilitate the use of the adventure playground, complement the existing uses and provide internal play/education



**Images 7 & 8:** Previous building demolished in 2018 and visual of proposed building.

space, which would result in an improved facility at the site and more opportunities for children and young adults. It is also noted that the relevant part of the site has not historically been actively used for play equipment with a similar sized building sited here until 2018. The reintroduction of a high quality building to support the use of the site would be in accordance with the above noted policies.

- 10.9 The footprint of the proposed building is 100sqm, which is a reduction of the built form from the demolished building (155sqm) by just over a third. However, a further 60sqm of covered floorspace would be formed by the overhang of the building, providing a mixture of useable space. In summary, the proposal would result in the development of a replacement building and the provision of additional external space for play uses when compared against the site layout in 2018.
- 10.10 There would be no loss of play equipment as a result of the proposed development, which is the key function of the designated adventure playground. The existing use would still function and would be further supported as a result of the development.
- 10.11 It is unknown how long the previous building existed within the application site; however, it was known to have been used by the wider community. As well as being used in conjunction with the external equipment for children's play, the building accommodated meetings and workshops by various youth groups as well as space for occasional events by the local community. Such uses would return to the new building which is considered a public benefit overall. This is as the replacement building, whilst smaller, would efficiently accommodate such events in a modern building design for such purposes. Additionally, the smaller building would result in more external space being reclaimed for play and landscaping, which is also considered a public benefit.
- 10.12 In summary, the proposed building would also provide wider uses beyond those of the adventure playground and would benefit the community. The building can be used for internal play and recreational spaces, as well as flexible meeting spaces. This would provide accommodation for local community and welfare groups that used the previous building as discussed above. The building would also contribute to enhanced and improved children's play and development.

- 10.13 The proposal would result in the loss of the existing container at the site, which provides a social infrastructure use. Part A of policy DM4.12 of the Islington Development Management Policies specifies that the Council will not permit any loss or reduction in social infrastructure uses unless:
- i) a replacement facility is provided on site which meets the need of the local population; or
  - ii) the specific use is no longer required on site.
- 10.14 Part C of policy DM4.12 states:
- “New social infrastructure and cultural facilities, including extensions to existing infrastructure and facilities, must*
- *i) be located in areas convenient for the communities they serve and accessible by a range of sustainable transport modes, including walking, cycling, and public transport.*
  - *ii) provide buildings that are inclusive, accessible, flexible and which provide design and space standards which meet the needs of intended occupants;*
  - *iii) be sited to maximise shared use of the facility, particularly for recreational and community uses; and*
  - *iv) complement existing uses and the character of the area, and avoid adverse impacts on the amenity of surrounding uses.”*
- 10.15 As evidenced by the recently demolished building at the site and its known previous uses by the community, it is considered that the proposed building would be within a convenient location for the community. Paradise Park and Martin Luther King Adventure Playground are a focal point of the surrounding residential area. The proposed internal open space configuration of the single storey building would help users with accessible needs whilst its position towards the south of the site would maximise shared use of the building whilst better use of the open play space. A further analysis on transport accessibility is discussed further on in this report.
- 10.16 When considering the existing temporary structures at the site, the proposed development would result in the loss of external space. However, as noted above, the proposal would provide a new social infrastructure facility at the site that would further support the adventure playground use and community use offer of the site, would provide an appropriate replacement for the demolished site building and would support improved access and facilitation of use of play space and open space, particularly in an area of open space deprivation. The quality and functionality of the adventure playground and wider open space would be greatly improved as a result of the development and more accessible to users, which are considered significant benefits of the scheme.
- 10.17 On balance, the proposed development would result in an overall improvement to the quality of play provision at Martin Luther King Adventure Playground, which is considered weigh in favour of the proposal and therefore is supported by officers. The proposal would improve the function of the adventure playground in accordance with policy CS16 of the Islington Core Strategy 2011.
- 10.18 Given that the proposed building would improve play, children’s development and community uses and functions, it is considered the proposed development is considered to comply with the broad aims of policies CS15 and CS16 of the Islington Core Strategy 2011 and policies DM4.12, DM6.1, and DM6.3 of the Islington Development Management Policies 2013.
- 10.19 Overall, the proposed development is considered acceptable in regards to land use; however, overall acceptability is subject to the other considerations within this report.

## DESIGN

- 10.20 The National Planning Policy Framework (NPPF) confirms that the Government attaches great importance to the design of the built environment, and notes that good design is a key aspect of sustainable development and should contribute positively to making places better for people.
- 10.21 Paragraph 131 of the NPPF (2019) states that in determining planning applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.
- 10.22 Policy CS8 of the Islington Core Strategy sets out the general principles to be followed by new development in the borough. Policy CS9 of the Core Strategy and policy DM2.1 of the Islington Development Management Policies 2013 accord with the National Planning Policy Framework (NPPF) in seeking to sustain and enhance Islington's built environment. Taken together, they seek to ensure that proposed development responds positively to existing buildings, the streetscape and the wider context, including local architecture and character, surrounding heritage assets, and locally distinctive patterns of development
- 10.23 Paragraph 5.68 of the Islington Urban Design Guide (IUDG) reads "*The relationship between the height of building and the street/space they flank is of critical importance. A balance must be found between the need for enclosure. Surveillance and definition and the risk of creating overbearing development that starves the street of light and air.*"
- 10.24 The IUDG states further on in paragraphs 5.76 and 5.77 "*In addition to its height, the scale of a building is also determined by its bulk, width and the manner in which the façade is articulated...Vertical proportions are expressed both in the overall dimensions of a building and in its individual elements, particularly the fenestration, and the manner in which they are composed within the frontage.*"
- 10.25 For new development, the IUDG summarises what is being sought in paragraph 5.78, by reading "*High quality contemporary designs will normally be sought that are skilfully woven into their context and that respect the rhythm, scale and proportions of the existing street frontage. Where the predominant building form in the surrounding area is characterised by narrow plot widths, designs should reflect this.*"
- 10.26 It can be seen that the wider area is characterised by the narrow plot width form of the Victorian terraced housing that backs onto Sheringham Road to the modern housing developments that front onto Paradise Passage to the east of the site. However, Martin King Luther Playground is part of the larger Paradise Park setting with its own open space context. Therefore, in this instance, a development that reflects the narrow plot form of the surrounding area would be considered awkward and out of keeping with its intended purpose. Whilst a larger development could be accommodated within the adventure playground site, any building should need to be of an appropriate scale and be subservient (whilst facilitating) to the open adventure playground space.

10.27 The building would be set back from the boundary along Sheringham Road by 1.5m and due to it being single storey in height and set behind the existing boundary wall, it would have a limited presence along the street. Given this and its modest scale, the building would maintain the sense of openness along the northern side of Sheringham Road (by virtue of the park space). This in turn maintains the contrast seen along Sheringham Road between the open north and the ordered dwelling houses along the south. Therefore, in reference to paragraph 5.68 of the IUDG, it is considered the proposed development provides a balanced relationship within the street by maintaining the existing balance.



**Image 9:** Visual of proposed building viewed along Sheringham Road.

10.28 The footprint of the new building would be 100sqm, which is a reduction of over a third from the previous building at the site, which was demolished in 2018. The footprint is considered to result in an acceptable ratio of open space to internal space and in conjunction with its single-storey height is considered to be an appropriate scaled building. The height of the building is measured at 3.95m. When seen from within the adventure playground, the building would not appear as overbearing, nor enclosing and the need for enclosure (which is acknowledged as of high importance given the nature of the site) is already addressed by the existing boundary wall of the site. The scale of the building in relation to the scale of the adventure playground would also reflect the prime use of the site as an adventure playground.

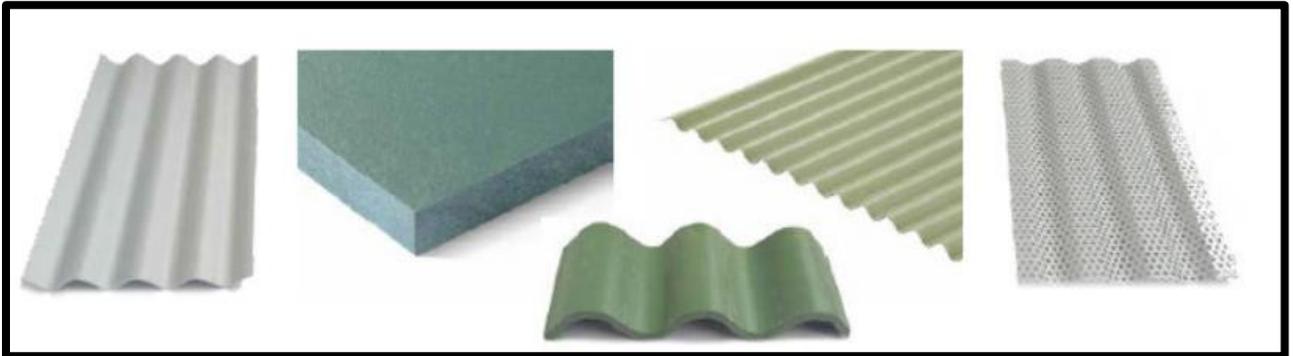
10.29 Within a wider context, the proposed building would respect the building hierarchy seen across the wider open space of Paradise Park, comprising Martin Luther King Playground and Freightliners Farm. The building located on the north-eastern corner of Paradise Park presents itself as the prime building, being located between the street and the park with an active street presence behind medium level metal railings whilst smaller buildings are seen in the distance. Larger buildings such as the proposed development and the buildings within Freightliners Farm are mainly concealed by high boundary walls or other ancillary buildings. This is also considered to maintain the collective open character across the area.

10.30 The proposed fenestration is considered to successfully reflect the vertical proportions of the building in relation to its single storey height. Full windows and doors on its northern elevation would face onto the open space. Whilst also providing an expression of its vertical proportions, the fenestration would also provide an open relationship between the main internal area of the building and the adventure playground space outside.

10.31 On the southern elevation, the proposed fenestration of the building comprises smaller scaled windows at both low and high level. Whilst this appears as an irregular fenestration, this would not be easily visible from the public realm given the boundary wall and trellis. Parts that are seen through the trellis would not appear as awkward and the proposed fenestration contributes to the limited presence the building has along Sheringham Road (whilst being a part of the separate

context of the adventure playground). It also ensure limited views into the building from the public realm.

- 10.32 The proposed materials for the building are coloured fibre cement corrugated sheeting and coloured fibre cement panels along with aluminium framed glazing and doors. The proposed material choice is considered appropriate as the same or similar appearing materials can be found on the buildings which occupy the wider open space area including Paradise Park and Freightliners Farm. The proposed colour palette is subtle and muted altogether, the building would appear in an appropriate and contextual finish.



**Image 10:** Proposed materials.

- 10.33 Lettering is proposed on the roof fascia of the building on its western elevation that would read 'MARTIN LUTHER KING ADVENTURE PLAYGROUND'. There is no objection to the design of the lettering and this is considered an appropriate form of signage that subtly announces the presence of the site.
- 10.34 The proposed development would provide a suitably high standard of design to the local area using appropriate materials in a contemporary design. The proposal is considered to relate well to the context of Martin Luther King Adventure Playground and the wider Paradise Park open area whilst providing an acceptable presence along the street scene of Sheringham Road.
- 10.35 Therefore, the proposed development complies with the National Planning Policy Framework 2019, policy D4 of the London Plan 2021, policies CS8 and CS9 of the Islington Core Strategy 2011 and policies DM2.1 and DM2.3 of the Development Management Policies 2013.
- 10.36 Consideration has also been taken into policies DH1 (Fostering innovation and conserving and enhancing the historic environment) of the Draft Islington Local Plan in which the proposed development is still considered as a high quality development.
- 10.37 Whilst the proposed materials have been considered to be appropriate, to ensure that it is of a high quality appearance and finish, a condition is recommended for details of all facing materials within the proposed development.
- 10.38 The development would be located within 50m of a designated conservation area. In accordance with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, in assessing the proposals hereby under consideration, special attention has been paid to the desirability of preserving or enhancing the character and appearance of the adjoining St Mary Magdalene Conservation Area. Given the above, the proposal is not considered to cause harm to the character or appearance of the nearby conservation area. The proposed development is considered to be of a high quality design that is sensitive to its context. It would enhance and not detract from the character and appearance of the St Mary Magdalene Conservation Area as seen within public and private views.

## NEIGHBOURING AMENITY

- 10.39 The Development Plan contains policies that seek to appropriately safeguard the amenities of residential occupiers when considering new development. Policy DM2.1 of the Development Management Policies Document 2013 identifies that satisfactory consideration shall be given to noise and the impact of disturbance, vibration, as well as overshadowing, overlooking, privacy, direct sunlight and daylight receipt, over-dominance, sense of enclosure and outlook.
- 10.40 Given the location of the tennis courts and the extent of the development, it is considered that the identified neighbouring properties with the potential to be impacted by the development are Nos. 2- 24 Crossley Street (their rear elevations back onto Sheringham Road), Nos. 1 & 2 Sheringham Road (which have elevations fronting onto Paradise Passage) and Nos. 18, 20 and 22 Paradise Passag

### Daylight, Sunlight and Overshadowing

- 10.41 It is considered by reason of its scale and location within the adventure playground, the proposed building would not adversely impact upon the daylight and sunlight of adjoining neighbouring occupiers. There are no ground floor windows at the rear of the Crossley Road properties (facing Sheringham Road) and the row of buildings are located a considerable distance away that the proposed building would not intersect a 20-degree angle taken from the upper floor windows.
- 10.42 It is also considered the proposed building would not adversely impact upon the daylight and sunlight of habitable windows of the properties along the eastern side of Paradise Passage (Nos 1 & 2 Sheringham Road and Nos. 18, 20 & 22 Paradise Passage). This is as the ground floor windows are already facing onto the boundary wall of the site which measures between 1.8- 2m in height. The proposed building would also not impact upon the upper floor windows of these buildings given the single storey height of the building and the separation distance of approximately 8-9m. The proposed building would not intersect 20-degree angles taken from the upper floor windows.

### Outlook

- 10.43 Given that the site is bound by a high-level boundary wall and the set back and modest height of the building, it is considered that the proposal would not impact upon the outlook of adjoining residential occupiers. At ground floor level, any views towards the building are interrupted by the existing boundary wall. At first floor level and above, the proposed development would not impact upon outlook as the building would be single storey in height.

### Privacy

- 10.44 As the building is single storey in height, the proposed development would not impact upon the privacy of neighbouring occupiers. Views from the building would be of the adventure playground and Paradise Park beyond within longer views. There would be no views towards residential buildings; however, in the event there would be, privacy would be maintained by the existing boundary wall.

### Noise and Disturbance

- 10.45 Given the existing use of the site, it is expected that during the daytime hours there would be an expected (but considered negligible) level of noise generated from its use and due to the building not providing greater floor area than the previous building at the site, the proposal would not exacerbate this. It is considered that the proposed building would not result in an adverse increase in noise and disturbance to neighbouring occupiers.
- 10.46 The proposed development would result in a flat roof with an overhang on its northern and western perimeters with a green roof over the building. Whilst it would be unlikely that the flat roof would be used as an amenity terrace given the green roof, a condition is recommended to ensure that the flat roof is only used for the longevity of the green roof and maintenance purposes of the building

and not for use as an amenity terrace. This is to ensure no noise and disturbance is caused at first floor level and to ensure privacy is maintained to nearby residential occupiers.

### Opening Hours

- 10.47 The opening hours for the proposed building are: 08:00-22:00hrs Monday to Fridays; 09:00-22:00hrs Saturdays; and 10:00-20:00hrs Sundays and bank holidays. This includes the main adventure playground use which would operate 08:00-19:00hrs weekdays and 09:00-18:00hrs weekdays and bank holidays.
- 10.48 The proposed typical opening hours are considered acceptable given its considerable distance away from neighbouring properties and noise emitted externally from the activity of the site is an existing situation with the proposed building considered to not exacerbate such issues.
- 10.49 The proposed evening hours for community events and meetings are considered to be acceptable on balance. The activity would be considered less intense than that of children's play and therefore suitable to take place during the evening period. Such events are an occasional use and the end hours of 22:00hrs weekdays and Saturdays and 20:00hrs on Sundays and bank holidays are considered a respectful time. The opening hours proposed would also be in line with other adventure playground buildings within the borough.
- 10.50 A condition is recommended restricting the hours to those noted above. Given the established use of the site as an adventure playground and the hours of use proposed, it is considered that an operational management plan would not be required.

### Light Pollution

- 10.51 As the building is a single-storey construction with glazing facing towards the adventure playground and park, it is considered that the proposed development would not detrimentally impact neighbouring occupiers in respect to light pollution.

### Safety and Security

- 10.52 Given the existing (and continued) use of the site, safety and security to the users is of importance. The existing boundary walls and gates provide physical security to the site. The occupiers of the building would be responsible for ensuring children's safeguarding.
- 10.53 A representation has been received raising concern regarding anti-social behaviour occurring at Paradise Park, inclusive of unauthorised large events and sale of drugs. While the proposed building falls within the wider Paradise Park setting, it is contained within a boundary and would be managed. The introduction of a community uses and managed building would provide further passive surveillance and may help to deter anti-social behaviour.
- 10.54 Overall, the proposed development will not cause significant adverse harm to the residential amenities enjoyed by the occupiers of neighbouring properties and is in accordance with policy DM2.1 (Design) of the Development Management Policies Plan 2013.

### **TRANSPORT**

- 10.55 The site has excellent access to public transport and the Public Transport Accessibility Level is 6a (rated as 'Excellent').
- 10.56 Bus route 153 serves MacKenzie Road to the north of Paradise Park, whilst bus routes 43, 263, 271 and 393 serve nearby Holloway Road to the east of the site. The site is a 5-10 minute walk from Highbury & Islington Station which is served by National Rail, London Overground and London Underground (Victoria Line) services. The site is also a 10 minute walk from Caledonian Road and Barnsbury Station which is served by London Overground.
- 10.57 In accordance with Appendix 6 of the Islington Development Management Policies 2013, one cycle space per 275sqm of leisure/sports floorspace should be provided. Details of parking provision have not be submitted but a condition is recommended requiring details to be submitted..

## **REFUSE AND RECYLING**

- 10.58 The proposed development would provide a dedicated refuse store along the southern elevation, concealed by the existing boundary wall along Sheringham Road. The proposed arrangement is considered acceptable and as demonstrated within the proposed plans would not interrupt the use of the building or the external play area. The removal of the refuse would continue as per existing arrangements.

## **ENERGY, SUSTAINABLE DESIGN AND CONSTRUCTION, AND BIODIVERSITY**

- 10.59 Policy DM7.1 of the Islington Development Management Policies states that 'Development proposals are required to integrate best practice sustainable design standards (as set out in the Environmental Design SPD), during design, construction and operation of the development'. Policy DM7.2 seeks to ensure Energy efficiency and carbon reduction in minor schemes.
- 10.60 The submitted Planning Statement and Design and Access Statement refer to the proposed building being of a sustainable and ecological construction. This includes sustainable urban drainage systems (SUDS) with specific measures proposed such as a biodiverse green roof, bio retention planters, water butts and permeable surfacing. Internal bathroom and kitchen fittings would also be configured to minimise water usage.
- 10.61 The proposed biodiverse green roof would cover an area of approximately 85sqm. Whilst the provision of a bio-diverse green roof is supported, further details are recommended to be submitted to ensure that the proposed roof meets the council's biodiverse values and to secure its longevity. This includes details of plant species, substrate depth, and maintenance.
- 10.62 The proposed timber for the internal structure and fittings is to be sourced sustainably from either certified PEFC or FSC sources whilst all materials proposed in the construction are to be sourced from the local supply chain where possible. The performance values of the proposed materials have also been looked into such as the use of natural wood fibre insulation to create a high thermal performance envelope and air tight measures to address energy and heat loss through the use of the building.
- 10.63 Other elements of the internal and external materials used for the building are that they are durable, long lasting and cost effective, which also contributes to the longevity and in turn sustainability of the building.
- 10.64 The proposed development therefore is considered to comply with policies DM6.5, DM7.1 and DM7.2 of the Islington Development Management Policies 2013. A condition is recommended that would ensure that the development is implemented in accordance with the design and access statement to ensure the building's sustainability.

## **TREES AND LANDSCAPING**

- 10.65 The proposal would be situated some distance from several trees along the boundary. The Council's Tree Officer has been consulted and has no objections to the scheme. The location of the proposed building would not cause any adverse impact on the trees. No tree details were submitted given the location of the development away from nearby trees.
- 10.66 As such, the proposed development is acceptable with regard to landscaping and trees and is in accordance with policies DM2.1 and DM6.5 of the Islington Development Management Policies 2013.

## **11. SUMMARY AND CONCLUSION**

### **Summary**

- 11.1 The principle of the proposed development is considered to be acceptable and would provide a new facility supporting the adventure playground as well as providing space for community uses. The scale and design of the development would not appear out of character within either the street scene or the wider park setting.
- 11.2 It is considered that the proposal would improve the appearance of the site and would not result in detrimental harm to the amenity of surrounding occupiers, subject to appropriate conditions. The proposal accords with policies CS8 and CS9 of the Islington Core Strategy 2011, policies DM2.1 of the Islington Development Management Policies 2013, and the Urban Design Guide 2013.
- 11.3 In accordance with the above assessment, it is considered that the proposed development is consistent with the policies of the London Plan, the Islington Core Strategy and the Islington Development Management Policies, and associated Supplementary Planning Documents and should be approved accordingly.

### **Conclusion**

- 11.4 It is recommended that planning permission be granted subject to conditions as set out in Appendix 1 - RECOMMENDATIONS.

## APPENDIX 1 – RECOMMENDATIONS

### RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following, and that there is delegated to each of the following: the Head of Development Management the Team Leader Major Applications and the Team Leader Planning Applications to make minor changes (additions removals or amendments) to the conditions:

#### List of Conditions:

<b>1</b>	<b>Commencement</b>
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
<b>2</b>	<b>Approved Plans List</b>
	<p>DRAWING AND DOCUMENT NUMBERS: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>PHP MLK 00: 100          PHP MLK 01: 100 P1; 200 P1; 300 P1; 301 P1; 302 P1; 303 P1.          PHP MLK 02: 100 P1; 101 P1; 200 P1; 300 P1; 301 P1; 302 P1; 303 P1.          PHP MLK 07: 110; 200 P1.</p> <p>Design &amp; Access Statement by Paper House Project dated 06/2021; Engagement Statement by Paper House Project dated 06/2021; Planning Statement by DMH Stallard dated 06/2021.</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
<b>3</b>	<b>Materials (Details)</b>
	<p>CONDITION: Details and samples of all facing materials shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site. The details and samples shall include:</p> <ul style="list-style-type: none"> <li>a) Corrugated sheeting and cement fibre</li> <li>b) window treatment (including sections and reveals);</li> <li>c) roofing materials; and</li> <li>d) any other materials to be used.</li> </ul> <p>The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
<b>4</b>	<b>Hours of Operation (Compliance)</b>
	<p>CONDITION : The development hereby approved shall not operate outside the hours of:</p> <p>08:00- 22:00hrs Monday- Fridays          09:00- 22:00hrs Saturdays          10:00- 20:00hrs Sundays and Bank Holidays</p> <p>The development hereby approved shall not be used in association with the existing adventure playground outside the hours of:</p>

	<p>08:00- 19:00hrs Monday- Fridays 08:00- 18:00hrs Saturdays, Sundays and Bank Holidays</p> <p>REASON: To ensure that the proposed development does not have an adverse impact on neighbouring residential amenity.</p>
<b>5</b>	<b>Construction Method Statement (Details)</b>
	<p>CONDITION: No development (including demolition works) shall take place on site unless and until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:</p> <ul style="list-style-type: none"> <li>i. the parking of vehicles of site operatives and visitors</li> <li>ii. loading and unloading of plant and materials</li> <li>iii. storage of plant and materials used in constructing the development</li> <li>iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate</li> <li>v. wheel washing facilities</li> <li>vi. measures to control the emission of dust and dirt during construction</li> <li>vii. a scheme for recycling/disposing of waste resulting from demolition and construction works</li> </ul> <p>The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: To ensure that the development does not adversely impact on neighbouring residential amenity due to its construction and operation.</p>
<b>6</b>	<b>Cycle Parking (Details)</b>
	<p>CONDITION: Details of the design and appearance (shown in context) of the bicycle storage area(s) shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing onsite. The storage shall be covered, secure and provide for no less than the 1x cycle spaces proposed.</p> <p>The bicycle storage area(s) shall be provided strictly in accordance with the details so approved, provided/erected prior to the first occupation of the development, and maintained as such thereafter.</p> <p>REASON: To ensure adequate cycle parking is available and easily accessible on site and to promote sustainable modes of transport.</p>
<b>7</b>	<b>Sustainable Design and Construction (Compliance)</b>
	<p>CONDITION: The hereby approved development shall be carried out in accordance with the approved Design &amp; Access Statement by Paper House Project dated 06/2021.</p> <p>The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: To ensure a sustainable standard of design interest of addressing climate change and to secure sustainable development.</p>

<b>8</b>	<p><b>Green/Brown Biodiversity Roofs (Details)</b></p> <p>CONDITION: Details of the biodiversity (green/brown) roof(s) shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site. The biodiversity (green/brown) roof(s) shall be</p> <p>d) biodiversity based with extensive substrate base (depth 80-150mm);</p> <p>e) laid out in accordance with plan PHP MLK 02 101 P1 hereby approved; and</p> <p>f) planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (the seed mix shall be focused on wildflower planting, and shall contain no more than a maximum of 25% sedum).</p> <p>The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency.</p> <p>The biodiversity roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity.</p>
<b>9</b>	<p><b>Refuse/Recycling Provided (Compliance)</b></p> <p>CONDITION: The dedicated refuse / recycling enclosure(s) shown on drawing no. PHP MLK 02 100 P1 shall be provided prior to the first occupation of the development hereby approved and shall be maintained as such thereafter.</p> <p>REASON: To secure the necessary physical waste enclosures to support the development and to ensure that responsible waste management practices are adhered to.</p>

**List of Informatives:**

<b>1</b>	<p><b>Construction Works</b></p> <p>INFORMATIVE: Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Pollution Team, Islington Council, 222 Upper Street London N1 1XR (Tel. No. 020 7527 3258 or by email <a href="mailto:pollution@islington.gov.uk">pollution@islington.gov.uk</a>) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.</p>
<b>2</b>	<p><b>Highway Requirements</b></p> <p>INFORMATIVE: Compliance with sections 168 to 175 and of the Highways Act, 1980, relating to "Precautions to be taken in doing certain works in or near streets or highways". This relates, to scaffolding, hoarding and so on. All licenses can be acquired through <a href="mailto:streetworks@islington.gov.uk">streetworks@islington.gov.uk</a>. All agreements relating to the above need to be in place prior to works commencing. Compliance with section 174 of the Highways Act, 1980 - "Precautions to be taken by persons executing works in streets." Should a company/individual request to work on the public highway a Section 50 license is required. Can be gained through <a href="mailto:streetworks@islington.gov.uk">streetworks@islington.gov.uk</a>. Section 50 license must be agreed prior to any works commencing. Compliance with section 140A of the Highways Act, 1980 – "Builders skips: charge for occupation of highway. Licenses can be gained through <a href="mailto:streetworks@islington.gov.uk">streetworks@islington.gov.uk</a>. Compliance with sections 59 and 60 of the Highway Act, 1980 – "Recovery by highways authorities etc. of certain expenses incurred in maintaining highways". Haulage route to be agreed with streetworks officer. Contact <a href="mailto:streetworks@islington.gov.uk">streetworks@islington.gov.uk</a>. Joint condition survey required between Islington Council Highways and interested parties before commencement of building works to catalogue condition of streets and drainage gullies. Contact <a href="mailto:highways.maintenance@islington.gov.uk">highways.maintenance@islington.gov.uk</a>.</p>

<b>3</b>	<b>Community Infrastructure Levy (CIL)</b>
	<p>INFORMATIVE: Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the London Borough of Islington Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL).</p> <p>The Council will issue a CIL Liability Notice stating the CIL amount that will be payable on the commencement of the development. Failure to pay CIL liabilities when due will result in the Council imposing surcharges and late payment interest.</p> <p>Further information and all CIL forms are available on the Planning Portal at <a href="http://www.planningportal.gov.uk/cil">www.planningportal.gov.uk/cil</a>, and the Islington Council website at <a href="http://www.islington.gov.uk/cil">www.islington.gov.uk/cil</a>. CIL guidance is available on the GOV.UK website at <a href="http://www.gov.uk/guidance/community-infrastructure-levy">www.gov.uk/guidance/community-infrastructure-levy</a>.</p>

## APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

### 1 **National Guidance**

The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

- National Planning Policy Framework 2019

### 2. **Development Plan**

The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

#### **A) The London Plan 2021 – The Spatial Development Strategy for Greater London**

- Policy GC3- Creating a healthy city
- Policy D4- Delivering good design
- Policy S5- Sports and recreation facilities
- Policy HC1- Heritage conservation and growth
- PolicyG3- Metropolitan Open Land
- Policy G4- Open space
- Policy G6- Biodiversity and access to nature

#### **B) Islington Core Strategy 2011**

- Policy CS8 Enhancing Islington's character
- Policy CS9 Protecting and enhancing Islington's built and historic environment
- Policy CS15- Open space and green infrastructure
- Policy CS17- Sports and recreation provision
- Policy CS18 Delivery and infrastructure

#### **C) Islington Development Management Policies 2013**

##### Design and Heritage

- Policy DM2.1- Design
- Policy DM2.3- Heritage

##### Shops, culture and services

- Policy DM4.12- Social and strategic infrastructure and cultural facilities

##### Health and open space

- Policy DM6.3- Protecting open space
- Policy DM6.4- Sport and recreation
- Policy DM6.5- Landscaping, trees and biodiversity

##### Energy and environmental standards

- Policy DM7.1- Sustainable design and construction
- Policy DM7.2- Energy efficiency and carbon reduction in minor schemes

##### Transport

- Policy DM8.4- Walking and cycling
- Policy DM8.6- Delivery and servicing for new developments

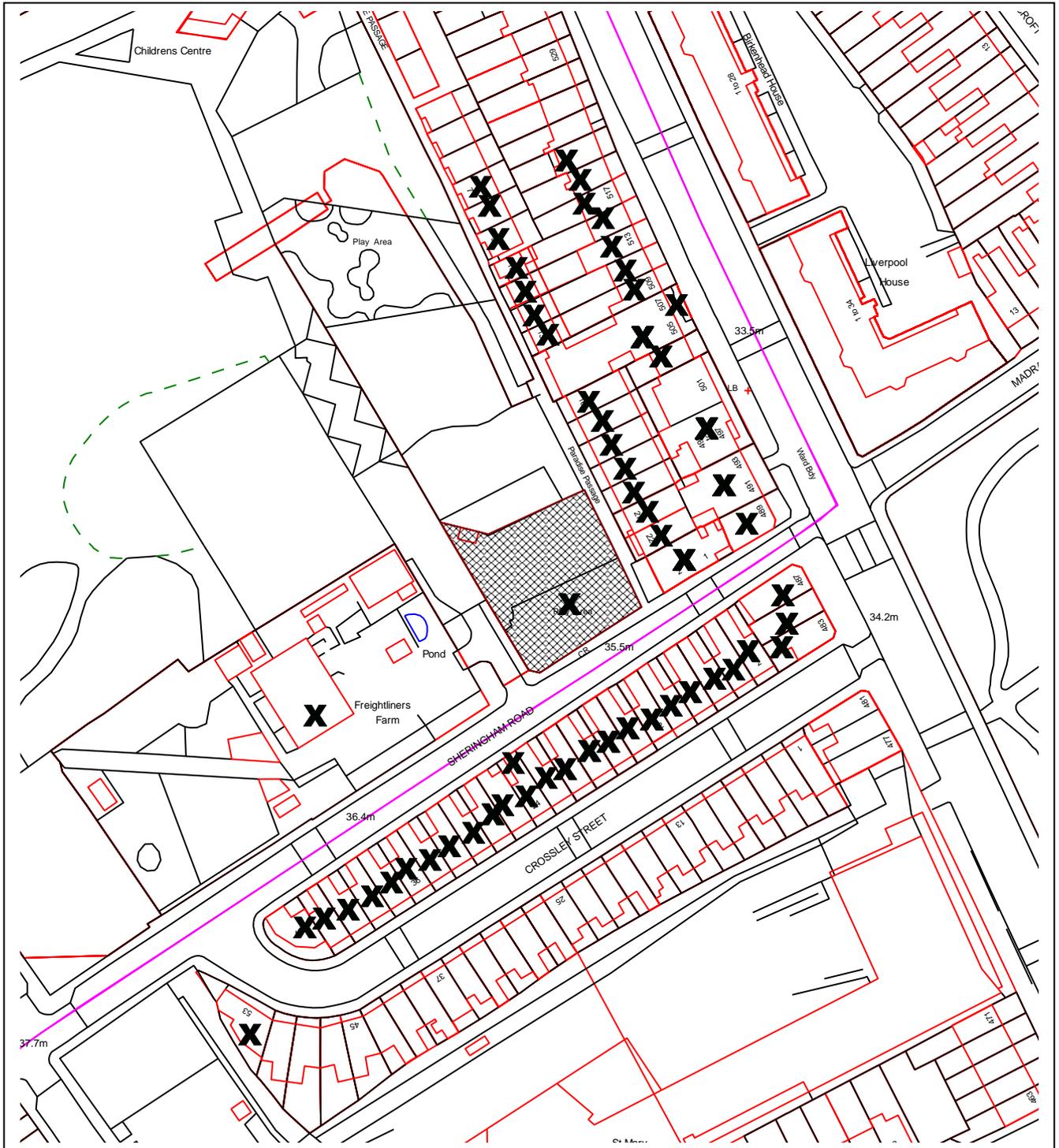
3. **Supplementary Planning Guidance (SPG) / Document (SPD)**

The following SPGs and/or SPDs are relevant:

Islington SPG/SPD

- Urban Design Guide 2019
- Conservation Area Design Guidelines 2002

# Islington SE GIS Print Template



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### PLANNING COMMITTEE REPORT ADDENDUM

<b>PLANNING SUB-COMMITTEE A</b>		<b>AGENDA ITEM NO:</b>
<b>Date:</b>	6 September 2021	<b>NON-EXEMPT</b>

Application number	P2021/1470/LBC
Application type	Listed Building (Council's Own)
Ward	Caledonian
Listed building	Grade II
Conservation area	Barnsbury
Development Plan Context	Conservation Article 4(2) Barnsbury (2) Article 4 Direction A1-A2 (Rest of the borough)
Licensing Implications	None
Site Address	West Library, 107 Bridgeman Road, Islington, London, N1 1BD
Proposal	Refurbishment of the West Library vacant first floor room (135sqm) into a youth employment and support hub, including lift access, toilets and associated works.

Case Officer	Claire Sutton
Applicant	Jerry Dillon
Agent	Public Works Group

#### 1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** listed building consent subject to the conditions set out in the original report attached in Appendix 1.

#### 2. REASONS FOR DEFERRAL

2.1 This application was previously discussed at the Planning Sub-Committee A meeting on 12<sup>th</sup> July 2021 (original report provided at Appendix 1).

2.2 The minutes for the meeting detail that in the discussion the following points were made:

- Members expressed that to have the building back in full use was welcomed and supporting young people into work was vital.
- Concern was raised over the level of harm caused to the entrance lobby by the installation of the lift and that the disruption to events on the first floor would be minimal.

- A motion was moved to defer the consideration of the application for more consideration of the options available by the applicant. This was seconded and carried.

2.3 Members resolved to defer the application in order for the Sub-Committee to allow the applicant to consider further options for the location of the lift at a further meeting.

### 3. BRIEF SUMMARY OF PROPOSAL

3.1 The application seeks the refurbishment of the West Library vacant first floor room (135sqm) into a youth employment and support hub, including lift access, toilets and associated works.

### 4. UPDATES FOLLOWING COMMITTEE ON 12<sup>TH</sup> JULY 2021

#### *Additional considerations undertaken*

4.1 Two additional lift locations have been explored by the applicant, including the technical feasibility of the location, structural works required, impact on heritage and impact on both the library service and youth employment service. All CGIs shown are indicative of the size and location, and not the proposed finished appearance.

- Option D is as per the original application with the lift placed and accessed from the main lobby
- Option E would see the lift shaft placed within the Adult Library on the ground floor, accessed from the main lobby, and within the Reading Room (youth employment hub) on the first floor, access from the existing staff toilet and kitchenette (to be removed). Additional structural support would be required within the basement event space.
- Option F would see the same as Option E, but with the lift accessed from a new lobby created within the Adult Library and Reading Room.



4.2 Option F was discounted at an early stage as the required layout would make the Adult Library unworkable.

- 4.3 Listed Building Consent is concerned with the impact on the special architectural and historic interest of the building. While it is often considered to
- 4.4 place impact on fabric above all else, this special interest is defined by *Conservation Principles* (English Heritage 2008) as evidential (research potential), historical (narrative), aesthetic (emotion), and communal (shared identity). The continued use of the building as a library is as important as its appearance and design as a public building of the Edwardian period. While financial viability cannot be taken into account in isolation, it is an important factor in this case as the continued use of the building as a library may be impacted by alterations which seek to protect a different value.

*Impact on heritage*

- 4.5 Options D and E are both considered to cause less than substantial harm to the special interest of the listed building, therefore under para 202 of the NPPF 2021, the harm should be weighed against the public benefits of the proposal including securing its optimum viable use.
- Option D would cause visual and fabric harm to the lobby, including the loss of some of the original plaster ceiling and marble floor
  - Option E would cause a lesser amount of visual, and greater amount of fabric harm to the lobby, Adult Library, and Reading Room, including the loss of a 5 meter run of original joinery in the Reading Room, the loss of a 3 metre run of original joinery in the lobby, and the loss of a 2 metre section of structural original wall.
  - In terms of use, which is also part of the special interest of the building, Option E would reduce the amount of useable space within the library, thereby eroding its communal and historical value.



*Option D lobby*



*Option E lobby*

*Impact on the library service*

- 4.6 The Library Service have been consulted on all options and are in support of Option D. Option E is deemed to have too great an impact on the existing service.
- Option D would not result in the loss of any functional library space
  - Option E would require a larger lift which in turn would require a more substantial structural solution. Additional mitigations would be needed such as acoustic walls to limit noise within the library space. This would result in a significant loss of floor space in three of the four key spaces for service provision within the building. The Adult Library would need to be re-

planned as the layout, both historically and today, has been planned as an open space without obstruction.



*Option E Adult Library (ground floor)*



*Option E Reading Room (first floor)*

#### *Impact on viability of the future library proposal*

- 4.7 Again, this is not a key consideration for listed building consent *per se*, but potentially would have an impact on the refurbishment works within the building.
- Option D has been costed and fully funded as part of the refurbishment works and change of use of the first floor Reading Room.
  - Option E would cost an additional £100k above Option D, which risks the viability of bringing the first floor Reading Room back into use. Value engineering would need to be employed, reducing the scope or quality of the works of refurbishment within the building.

#### *Public Consultation*

- 4.8 No objections have been received to the Option D proposal. If Option E is to be pursued, this would be considered a significant alteration in the scheme. The proposal would need to go back out to public consultation, and then be returned to the Committee for decision.

## **5. CONCLUSION**

- 5.1 For the reasons set out above and in the original Committee Report (see Appendix 1), it is considered that the proposed works to the building (that encompass lift Option D) are acceptable. While the proposal would cause harm to the heritage asset as historic fabric would be lost through the provision of the lift. However, this is considered to be outweighed by the public benefit of providing access for all to the entire building, including accessible facilities, and reopening the reading room for use as part of a public building.
- 5.2 In accordance with the above assessment, it is considered that the proposed works are consistent with the policies of the London Plan, the Islington Core Strategy, the Islington Development Management Policies and associated Supplementary Planning Documents and should be approved accordingly.
- 5.3 It is recommended that listed building consent be granted subject to conditions as set out in Appendix 1 – RECOMMENDATIONS of the original Committee Report.

## APPENDIX 1

### PLANNING COMMITTEE REPORT



# ISLINGTON

Development Management Service  
Planning and Development Division  
Community Wealth Building

<b>PLANNING SUB-COMMITTEE A</b>		<b>AGENDA ITEM NO:</b>
<b>Date:</b>	12 July 2021	<b>NON-EXEMPT</b>

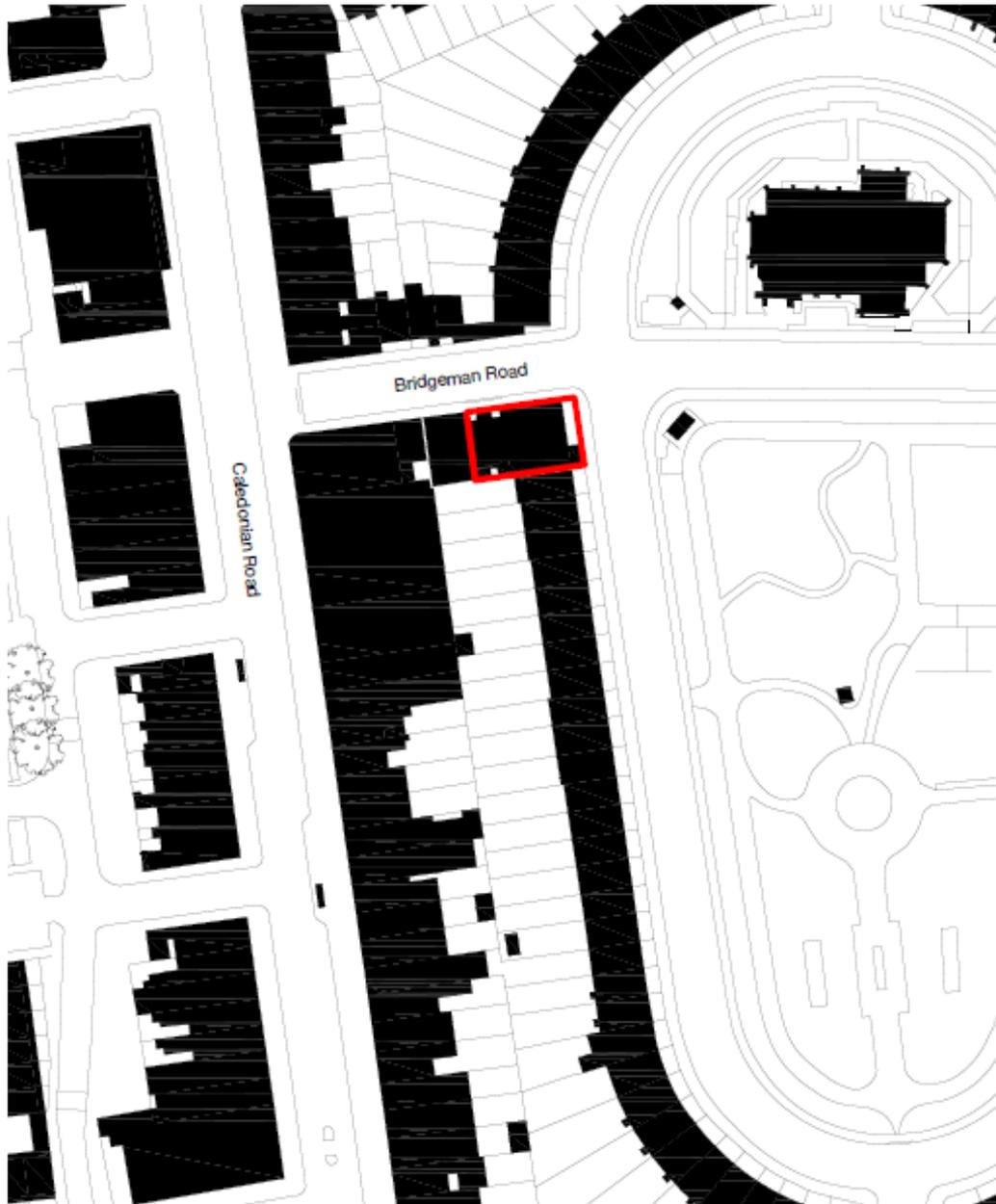
Application number	P2021/1470/LBC
Application type	Listed Building (Council's Own)
Ward	Caledonian
Listed building	Grade II
Conservation area	Barnsbury
Development Plan Context	Conservation Article 4(2) Barnsbury (2) Article 4 Direction A1-A2 (Rest of the borough)
Licensing Implications	None
Site Address	West Library, 107 Bridgeman Road, Islington, London, N1 1BD
Proposal	Refurbishment of the West Library vacant first floor room (135sqm) into a youth employment and support hub, including lift access, toilets and associated works.

Case Officer	Claire Sutton
Applicant	Jerry Dillon
Agent	Public Works Group

## 6. RECOMMENDATION

The Committee is asked to resolve to **GRANT** listed building consent subject to the conditions set out in Appendix 1;

7. SITE PLAN (site outlined in red)



## 8. PHOTOS OF SITE/STREET



**Image 2:** View from junction of Thornhill Square and Bridgeman Road



**Image 3:** Entrance lobby viewed from stairs (proposed lift location to right of entrance stairs)



**Image 4:** proposed lift location



**Image 5:** First floor reading room, front elevation windows



**Image 6:** First floor reading room, rear elevation



**Image 7:** Existing first floor lobby, proposed lift location (behind radiator, panelling to be removed)



**Image 8:** Existing first floor staff room (proposed toilets location)

### **3. SUMMARY**

- 8.1 The application seeks listed building consent for refurbishment to facilitate the conversion of the existing first floor reading room to create a youth employment and support hub. It also proposes the insertion of a glass lift to enable access from ground to first floor for those with limited mobility, and associated alterations to the toilet facilities.
- 8.2 The proposal is considered to be compliant with the objectives of Policy CS9 of the Islington Core Strategy (2011), and DM2.3 of Development Management Policies (2013). It is therefore considered to preserve the special architectural and historic interest of the Grade II listed building, and is acceptable in design terms.
- 8.3 The proposal is considered to be acceptable and it is recommended that the application be approved subject to conditions.
- 8.4 The application is brought to committee because the site is owned by Islington Council.

### **9. SITE AND SURROUNDINGS**

- 9.1 The site is a Grade II listed building and lies within the Barnsbury Conservation Area.
- 9.2 The building was constructed in 1906 and was funded by the Carnegie Foundation. It is located on the western edge of Thornhill Square, occupying an important corner site, and can be seen from Caledonian Road, to which it is connected by Bridgeman Road.
- 9.3 The building is significant for its architecture and retained floor plan, both of which reflect its status and continued use as a public library. It also has communal value within the locality and makes a positive contribution to the conservation area.
- 9.4 The building retains a high degree of its architectural detailing, including decorative ceilings, panelling, and flooring. Minor alterations to the building have occurred over the years, including a lift from ground to lower ground floor in 2009, and the doors to the reading room. These changes have enabled a greater number of visitors to access the library.

## 10. PROPOSAL (IN DETAIL)

- 10.1 The application seeks to refurbish the first floor reading room and convert it to a youth employment and support hub. This includes the addition of toilet facilities to the first floor and the insertion of a glass lift within the lobby from ground to first floor for those with limited mobility.
- 10.2 The proposed use of the reading room as a youth employment and support hub does not constitute a change of use (remaining within Use Class F.1) and therefore does not require planning permission.

### Revision 1

- 10.3 Minor alterations to the originally submitted plans have been accepted in order to enable level access to the lift, and to alter the opening at first floor level to avoid competing with the status of the reading room.

## 11. RELEVANT HISTORY:

- 11.1 There have been many applications associated with this building. Those relevant are:
- 11.2 P043117 Listed Building Consent application for Works in connection with modifications to West Library to comply with Disability Discrimination Act. GRANTED 16 May 2005.
- 11.3 P081233 Listed Building Consent application in connection with the installation of a passenger lift from ground to basement. GRANTED 5 January 2009.
- 11.4 P091583 Planning Permission application for Alterations to the front elevation to provide direct access to new lift. GRANTED 10 November 2009.
- 11.5 P091584 Listed Building Consent applications for Alterations to the front elevation to provide direct access to new lift. GRANTED 1 February 2010.

## 12. CONSULTATION

### Public Consultation

- 12.1 The proposal has undergone a statutory consultation period of 21 days. A notice and press advert were displayed on site and in the press. The public consultation of the application therefore expired on 27<sup>th</sup> June 2021, however it is the Council's practice to continue to consider representations made up until the date of a decision. At the time of the writing of this report no responses had been received from the public with regard to the application.

### External Consultees

- 12.2 **Historic England:** Notified as the proposal included relevant demolition to a Grade II listed building; HE considered that they did not need to be notified and had no comments on the proposal.
- 12.3 **Joint Committee of National Amenity Societies:** no comments received.
- 12.4 **The Islington Society, The Upper Street Association, and the Thornhill Square Association:** no comments received

## **Internal Consultees**

- 12.5 **Access & Inclusive Design Officer:** the principle of a new lift to access the first floor was acceptable; some amendments to the proposal were needed to comply. These are discussed at point 9.10.
- 12.6 **Building Control Officer:** no comments
- 12.7 **Town Centre Inclusive Economy:** no comments
- 12.8 **Planning Policy:** no comments

## **13. RELEVANT POLICIES**

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents:

### **National Guidance**

- 13.1 Islington Council (Planning Sub-Committee A), in determining the listed building consent application has the main following statutory duties to perform:
- To have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses (Section 16 Planning [Listed Buildings & Conservation Areas] Act 1990 as amended).
  - To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990)
  - To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington's Local Plan, including adopted Supplementary Planning Guidance.)
- 13.2 The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.
- 13.3 Since March 2014 Planning Practice Guide for England has been published online.
- 13.4 In considering the listed building consent application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.
- 13.5 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:
- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.

- Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.

13.6 Members of the Planning Sub-Committee A must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.

13.7 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to: (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act; (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

### **Development Plan**

13.8 The Development Plan is comprised of the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

### **Designations**

13.9 The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Grade II listed building
- Barnsbury Conservation Area
- Article 4 Direction Barnsbury Conservation Area

### **Supplementary Planning Guidance (SPG) / Document (SPD)**

13.10 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

### **Emerging Policies**

#### **Draft Islington Local Plan 2019**

13.11 The Regulation 19 draft of the Local Plan was approved at Full Council on 27 June 2019 for consultation and subsequent submission to the Secretary of State for Independent Examination. From 5 September 2019 to 18 October 2019, the Council consulted on the Regulation 19 draft of the new Local Plan. Submission took place on 12 February 2020 with the examination process now in progress. As part of the examination, consultation on pre-hearing modifications took place from 19 March to 9 May 2021.

In line with the NPPF Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);

- the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

13.12 Emerging policies relevant to this application are set out below:

- Policy DH1 – Fostering innovation and conserving and enhancing the historic environment
- Policy DH2 – Heritage Assets

## 14. ASSESSMENT

14.1 The main issues arising from this proposal relate to:

- Design and Conservation

### Design and Conservation

14.2 Paragraph 193 of the NPPF (2019) states that ‘When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). Furthermore, at paragraph 196: ‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

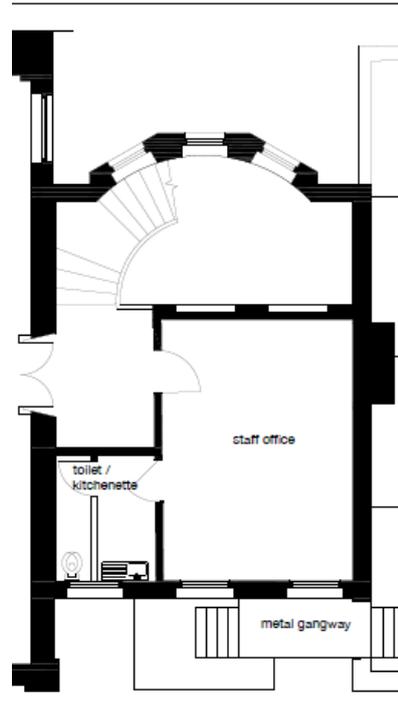
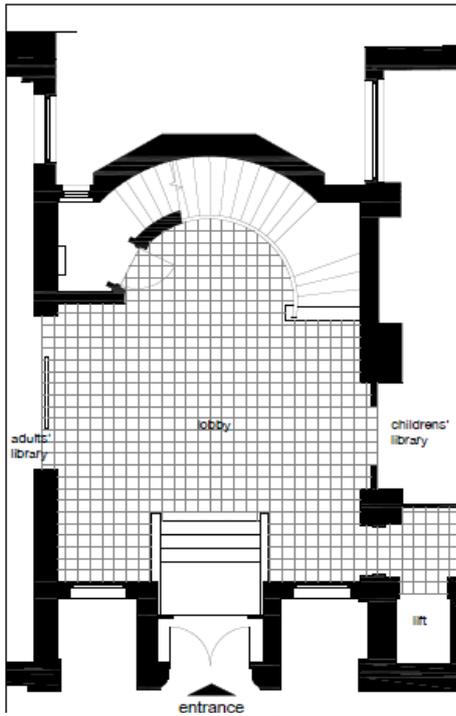
14.3 London-wide planning policies relevant to design and conservation are set out in Chapter 7 of the London Plan, and the Mayor of London’s Character and Context SPG is also relevant. At the local level, Policy CS9 of Islington’s Core Strategy (CS) 2011 and Policy DM2.3 of Islington’s Development Management Policies 2013 accord with the National Planning Policy Framework (NPPF) in seeking to sustain and enhance Islington’s built environment. Taken together, they seek to ensure that proposed works respond positively to existing heritage assets.

14.4 Policy DM2.3 seeks to ensure that the borough’s heritage assets are conserved and enhanced in a manner appropriate to their significance. Development that makes a positive contribution to Islington’s local character and distinctiveness will be encouraged. It seeks to ensure developments within the setting of a listed building are of good quality contextual design. It also seeks to retain, repair and reuse of non-designated heritage assets. Proposals that unjustifiably harm the significance of a non-designated heritage asset will generally not be permitted.

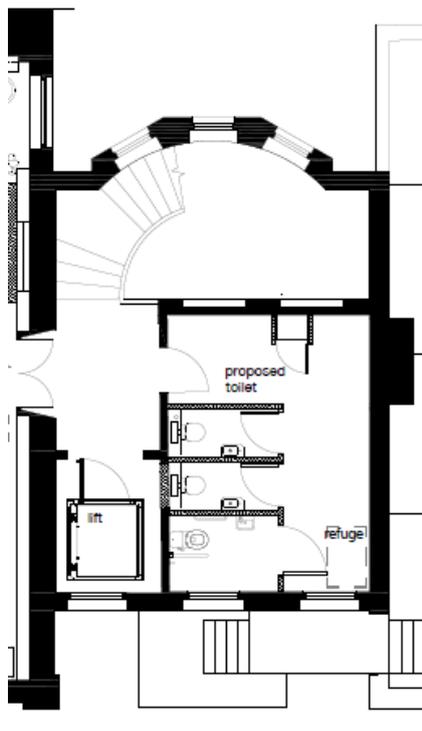
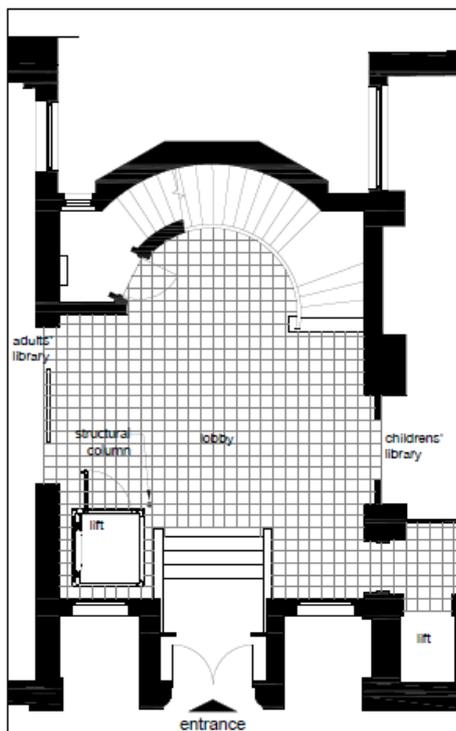
14.5 In accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990, in assessing the proposals hereby under consideration, special regard has been paid to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

14.6 Policy DM2.3 seeks to ensure that the Borough’s listed buildings are conserved or enhanced

14.7 The proposal includes a number of different internal alterations with an assessment of these elements set out below, followed by the weighing of harm vs. public benefit, as required by NPPF para 196:



**Plan 1:** Existing Ground Floor entrance lobby (left); Existing First Floor lobby and staff room (right)



**Plan 2:** Proposed Ground Floor entrance lobby (left); Proposed First Floor lobby and toilets (right)

*Internal lift*

14.8 The entrance hall has not been radically altered since its construction. It retains the wall panelling and decorated ceiling, as well as the original staircase opposite the entrance. There is an element of symmetry to the hall which is apparent when leaving the building, and this would be eroded by the insertion of the lift. However, the wall materials would be unaffected, and the largely glazed lift would enable these to still be appreciated.

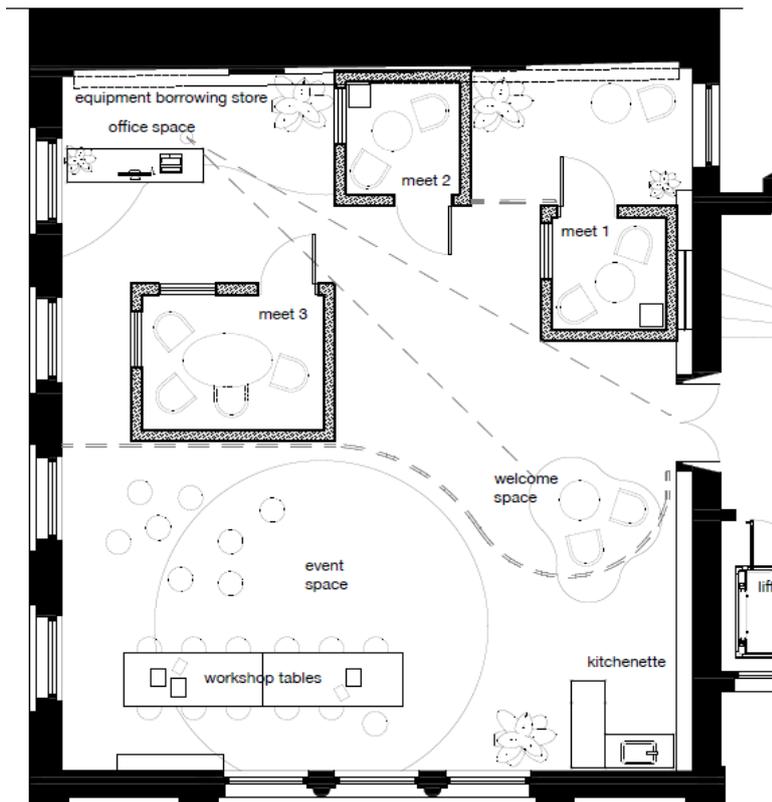
- 14.9 There would be harm to the ground floor ceiling and both floors, as the historic fabric here would be lost. In addition, the wall to the existing toilet and kitchenette at first floor level would be largely removed in order to enable access to the lift. This wall retains historic panelling, which would be removed in its entirety. This would enable light from the front elevation to enter the landing area, which is currently very dark. The architrave details to the reading room and staff room would be retained.
- 14.10 The lift would be visible through the front elevation windows, and these are not proposed to be obscured. At first floor level, this is currently dissected by an internal modern partition wall, which would be removed. The lift is proposed to be mainly glass with structural metal elements, the details of which would be determined under condition. Small alterations to the originally submitted plans were requested by the Council's Access and Inclusive Design Officer to enable the lift to be accessed easily without the necessary structural column hindering progress, and to achieve level access from each floor.



**Image 9:** Indicative image of lift in proposed location (left)

#### *Refurbishment of reading room*

- 14.11 The reading room has had much of its historic detailing removed from the walls, retaining only its segmented barrel-vaulted ceiling and tympanum (internal pediment) over the large windows as points of interest. The heating system is elderly, consisting of high wall-mounted heaters, and the lighting system also needs updating in terms of both style and efficiency. Underfloor heating would be more efficient, and shutters/secondary glazing would reduce heat loss. The refurbishment of the room would be subject to condition, including a full schedule of works with materials.
- 14.12 The room would be repurposed as a fully-accessible youth employment and skills hub. This would require significant updating of services, together with movable furniture to enable the room to be reconfigured as needed.



**Image 13:** Proposed layout for reading room

*New toilets*

14.13 The existing first floor staff room would be converted to three new toilets, one being accessible. The existing would be retained in situ as a feature within the toilets. A toilet and kitchenette already exist in the proposed lift location; the existing soil pipes can be reused meaning there would be no additional visual clutter to the front elevation.

*Weighing harm vs. public benefit*

14.14 The loss of historic ceiling, walling, and flooring would be an irreversible harmful alteration to the listed building. Where harm is proposed, there is a requirement for clear and convincing justification to be provided, together with a discussion of alternatives considered. The benefit is required to outweigh the harm, not merely balance it.

14.15 Alternative locations for a lift were considered at length, including a lift to the rear of the existing stairs, one within the reading room and lending library, and continuation of the existing lift to avoid having to change lifts when moving between floors. However, these options were considered to be more harmful to the existing plan form, and require at least the same amount of internal fabric loss. The continuation of the existing lift would also have involved an external element on the front elevation, which would have been a significant and detrimental addition.

14.16 The building is a significant structure and well-known in the vicinity, already utilised by a variety of users, and the proposed use for the first floor would be an expansion of those community uses within an under-utilised historic space. The opportunity would be taken to improve the energy efficiency of the reading room at the same time, and refurbish the retained historic elements for their continued longevity.

### *Conclusion*

- 14.17 Overall, due to the mitigation measures and public benefits identified above, the proposal is considered to be compliant with Development Management Policy DM2.3.

## **15. SUMMARY AND CONCLUSION**

### **Summary**

- 15.1 The proposed alterations are considered acceptable in principle. The works would enable the building to continue in use as a public building with all areas being fully accessible.
- 15.2 The proposals would cause harm to the heritage asset as historic fabric would be lost through the provision of the lift. However, this is considered to be outweighed by the public benefit of providing access for all to the entire building, including accessible facilities, and reopening the reading room for use as part of a public building.
- 15.3 In accordance with the above assessment, it is considered that the proposed works are consistent with the policies of the London Plan, the Islington Core Strategy, the Islington Development Management Policies and associated Supplementary Planning Documents and should be approved accordingly.

### **Conclusion**

- 15.4 It is recommended that listed building consent be granted subject to conditions as set out in Appendix 1 - RECOMMENDATIONS.

## APPENDIX 1 – RECOMMENDATIONS

That the granting of listed building consent be subject to conditions to secure the following:

### List of Conditions:

<b>1</b>	<b>Commencement</b>
	<p>CONDITION: The works hereby permitted shall be begun not later than three years from the date of this consent.</p> <p>REASON: To comply with the provisions of Section 18(1) (a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
<b>2</b>	<b>Works to Match (Compliance)</b>
	<p>CONDITION: All new external and internal works and finishes and works of making good to the retained fabric shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile. All such works and finishes shall be maintained as such thereafter.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
<b>3</b>	<b>Demolition by Hand (Compliance)</b>
	<p>CONDITION: The demolition works hereby approved shall be carried out by hand or hand tools. No power driven tools shall be employed.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
<b>4</b>	<b>Protection of Internal Features during Construction (Compliance)</b>
	<p>The interior features of the building shall be protected against accidental loss or damage during building work, and no features may be disturbed or removed temporarily or permanently except if so identified on the drawings forming part of this consent.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
<b>5</b>	<b>Schedule of Works First Floor (DETAILS)</b>
	<p>CONDITION: The refurbishment of the first floor hall (reading room) hereby permitted shall not commence until a schedule of works for the repair and restoration of the room has first been submitted to and approved in writing by the local planning authority. The works shall be carried out strictly in accordance with the schedule so approved.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>
<b>6</b>	<b>Schedule of Works Lift (DETAILS)</b>
	<p>CONDITION: No works to install the lift hereby permitted shall commence until a schedule of works for all works relating to the lift, including demolition, has first been submitted to and approved in writing by the local planning authority. The works shall be carried out strictly in accordance with the schedule so approved.</p> <p><b>In consultation with chair &amp; access officer</b></p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>

<b>7</b>	<b>Submission of Details (DETAILS)</b>
	<p>Detailed drawings at a scale of no less than 1:10 in respect of the following shall be submitted to and approved by the Local Planning Authority prior to the relevant part of the works commencing on site:</p> <p>a) Full structural details for the lift including over/underrun, appearance, ramp (if necessary) including method for fabric removal  b) Details of new signage including locations and fittings  c) Details of the new plumbing and servicing for the first floor toilets  d) Details of the plumbing and electrical servicing to the first floor hall (reading room) including light and heating fittings  e) Details of any new shutters, acoustic panelling, blinds, or secondary glazing to the existing windows</p> <p>The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.</p> <p>REASON: In order to safeguard the special architectural or historic interest of the heritage asset.</p>

**List of Informatives:**

<b>1</b>	<b>Other Consents</b>
	<p>INFORMATIVE: This consent relates solely to listed building matters. Should it become necessary to make alterations to the consented scheme in order to comply with other legislation, such as Building Regulations, a further consent may be required. Such a consent should be sought and obtained prior to the relevant works being undertaken.</p>
<b>2</b>	<b>Retention of Historic Fabric</b>
	<p>INFORMATIVE: You are reminded that the original historic fabric of the listed building should be retained unless specifically authorised for removal by the Council as part of a listed building consent. Historic fabric which must be retained would include lath and plaster ceilings and walls, floor boards, original skirting boards, dado rails, doors, architraves, historic cupboards, cornices, fireplaces, staircases, windows, etc. Where these elements are in poor condition, repair and restoration could be undertaken by competent workmen, with the minimum amount of intervention to the historic fabric.</p>

## **APPENDIX 2: RELEVANT POLICIES**

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

### **1 National Guidance**

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

### **2. Development Plan**

The Development Plan is comprised of the London Plan 2021, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

#### **a) The London Plan 2021 - Spatial Development Strategy for Greater London**

- Policy HC1 Heritage Conservation and Growth

#### **b) Islington Core Strategy 2011**

- Policy CS9 Protecting and enhancing Islington's built and historic environment

#### **c) Islington Development Management Policies 2013**

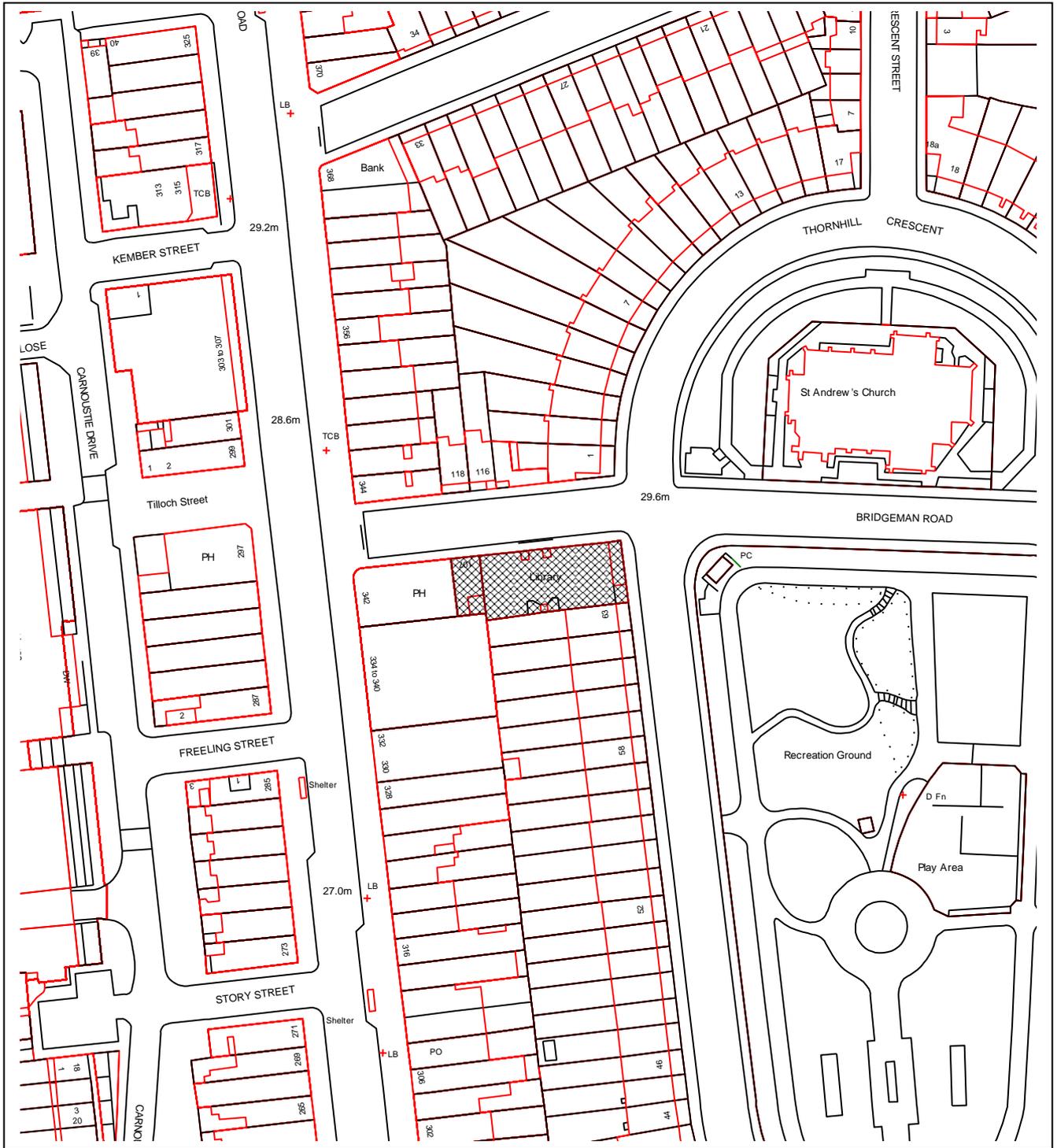
- Policy DM2.3 – Heritage

### **3. Designations**

The site has the following designations under the London Plan 2011, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Grade II listed building
- Barnsbury Conservation Area

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